

PROPERTY DETAILS

Address: **4 NEILL STREET BEAUFORT 3373**
 Crown Description: **Allot. 2 Sec. 3 TOWNSHIP OF BEAUFORT**
 Standard Parcel Identifier (SPI): **2-3\PP5058**
 Local Government Area (Council): **PYRENEES**
 Council Property Number: **521031900**
 Planning Scheme: **Pyrenees**
 Directory Reference: **Vicroads 556 H9**

www.pyrenees.vic.gov.au

[Planning Scheme - Pyrenees](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **Central Highlands Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **POWERCOR**

STATE ELECTORATES

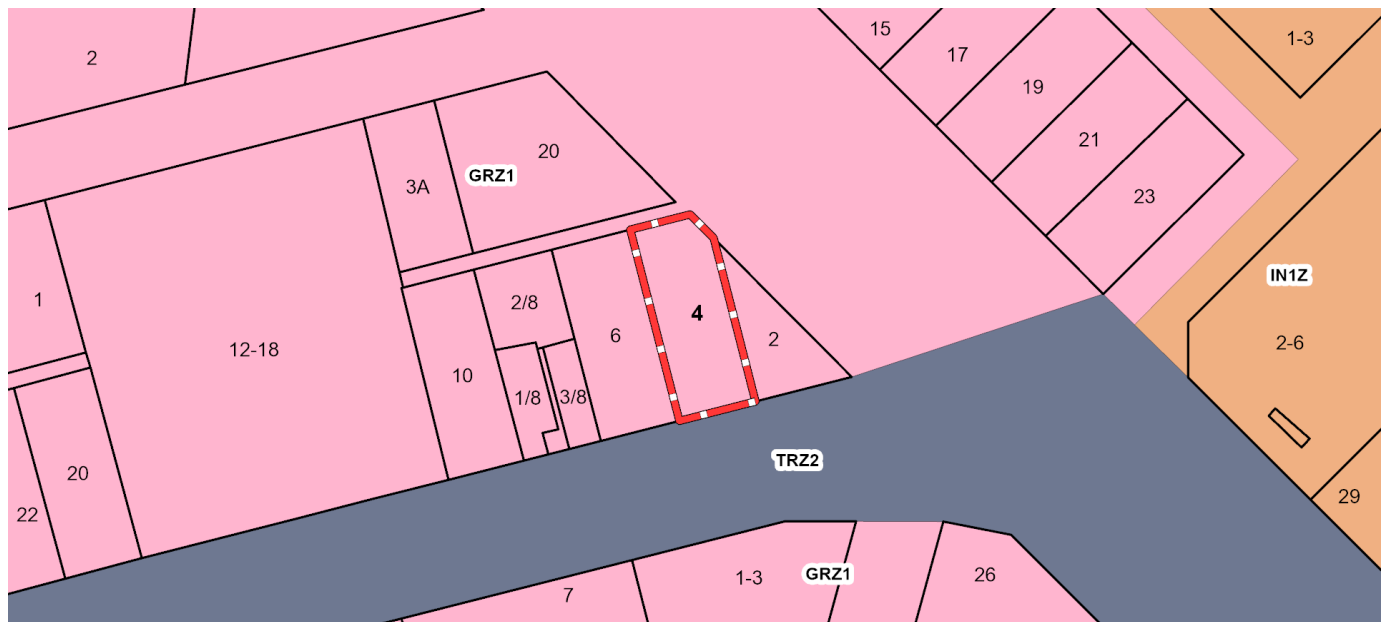
Legislative Council: **WESTERN VICTORIA**
 Legislative Assembly: **RIPON**
 Registered Aboriginal Party: **Wadawurrung Traditional Owners Aboriginal Corporation**
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



GRZ - General Residential

IN1Z - Industrial 1

TR22 - Principal Road Network

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlay

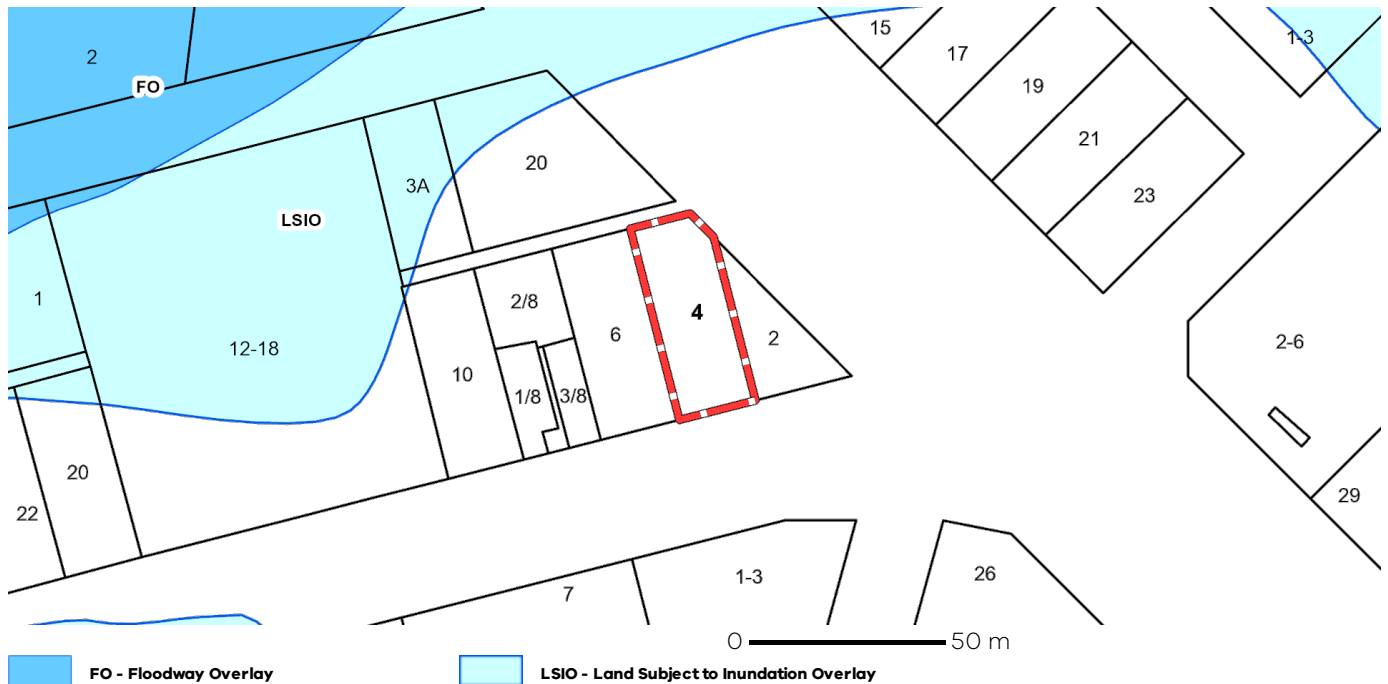
None affecting this land - there are overlays in the vicinity

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

FLOODWAY OVERLAY (FO)

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

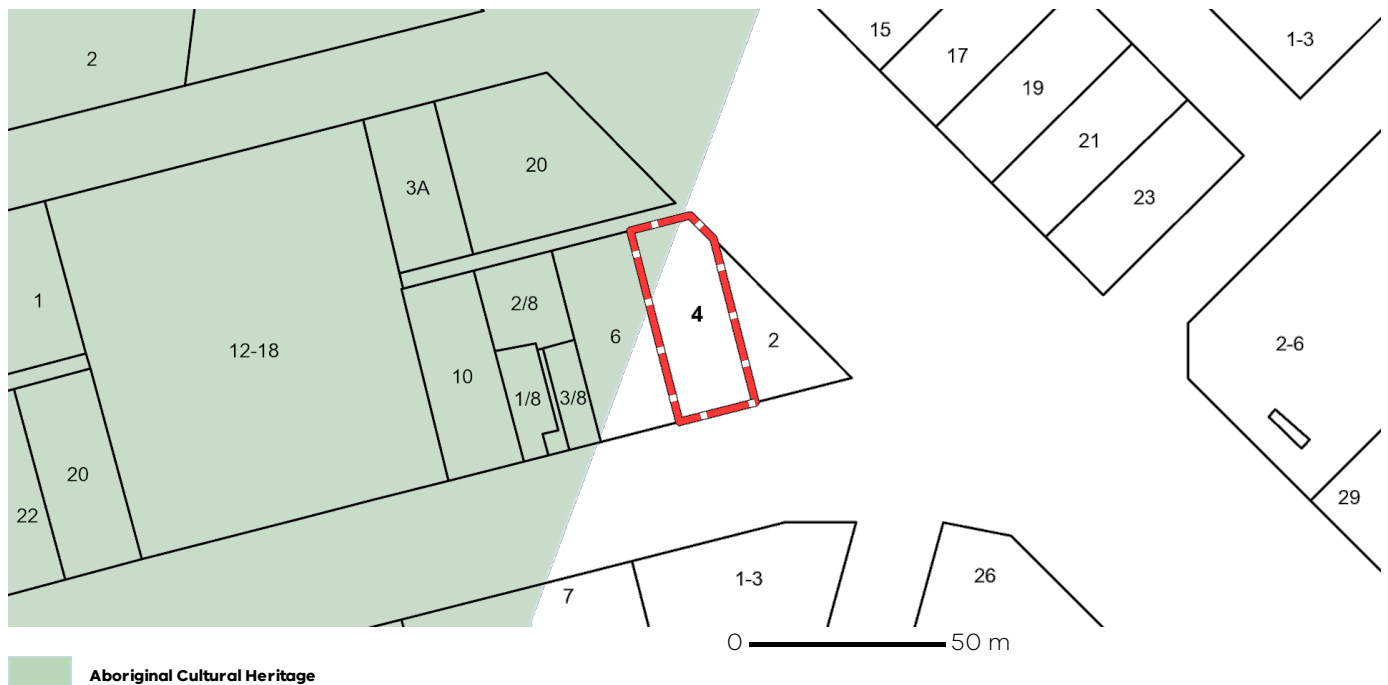
Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>



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Further Planning Information

Planning scheme data last updated on 24 April 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

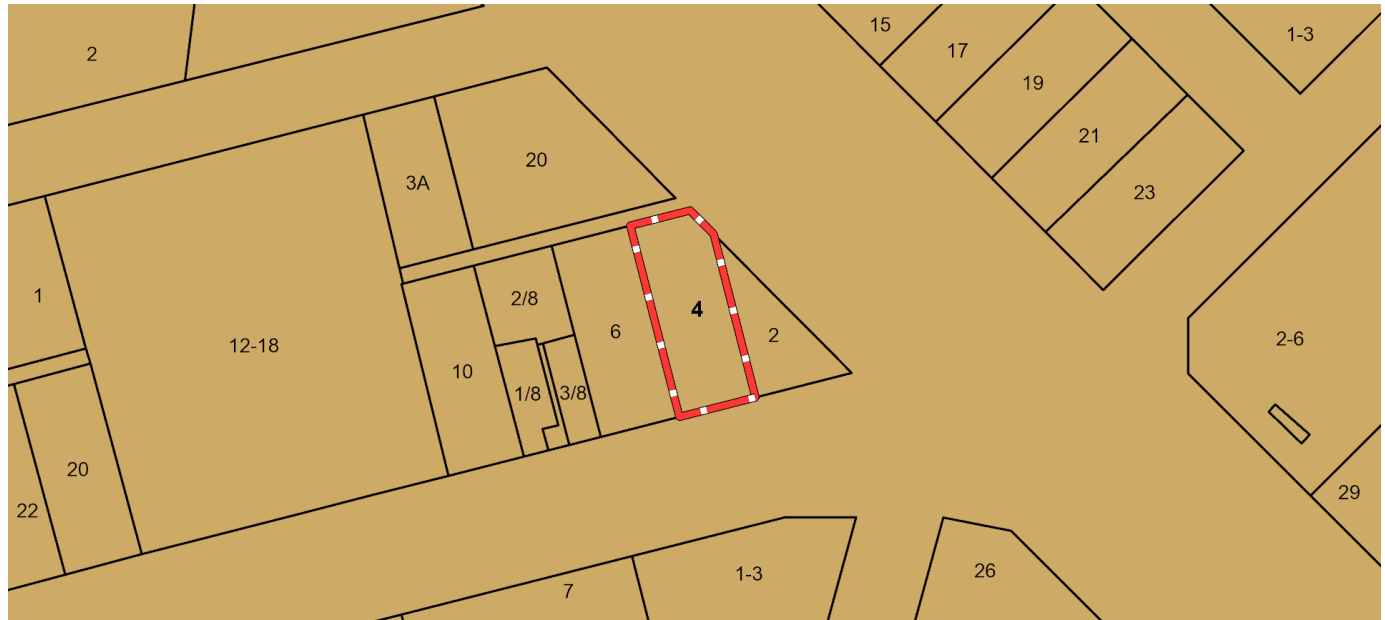
For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated Bushfire Prone Areas

Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](http://nativevegetation.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://naturekit.environment.vic.gov.au)

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08287 FOLIO 456

Security no : 124134067205F
Produced 24/04/2026 11:30 AM

LAND DESCRIPTION

Crown Allotment 2 Section 3 Township of Beaufort Parish of Beaufort.
PARENT TITLE Volume 01596 Folio 090
Created by instrument B169562 10/03/1961

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

[REDACTED]
AM320150U 12/11/2015

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AM320151S 12/11/2015
[REDACTED]

For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP273064J FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 4 NEILL STREET BEAUFORT VIC 3373

ADMINISTRATIVE NOTICES

NIL

eCT Control 16320Q [REDACTED]
Effective from 22/10/2016

DOCUMENT END

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Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	TP273064J
Number of Pages (excluding this cover sheet)	1
Document Assembled	24/04/2026 11:30

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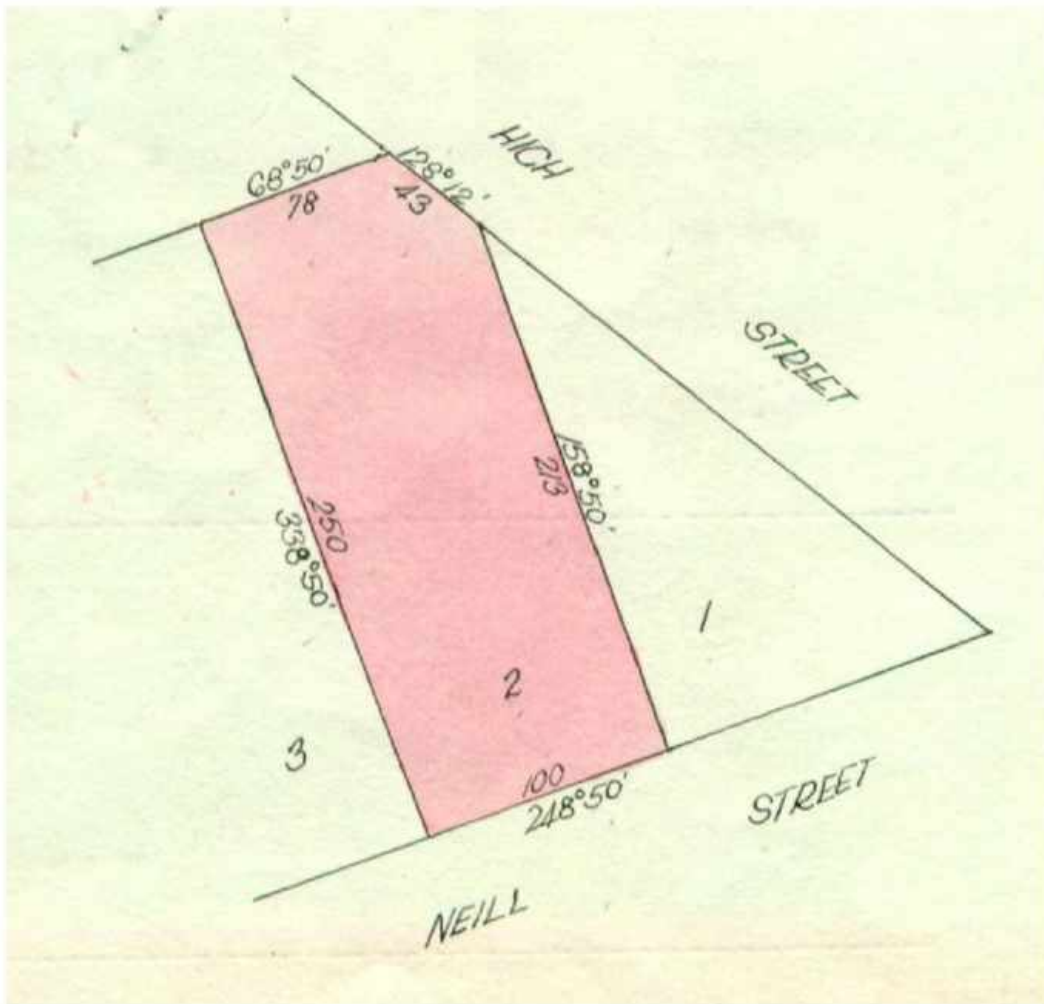
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TITLE PLAN		EDITION 1	TP 273064J
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<p>Location of Land</p> <p>Parish: BEAUFORT Township: BEAUFORT Section: 3 Crown Allotment: 2 Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 8287 FOL 456 Depth Limitation: NIL</p>	<p style="text-align: center;">Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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<p>Description of Land / Easement Information</p>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 14/02/2000 VERIFIED: SO'C</p>
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Office Use Only

VicSmart: **No**
Specify class of VicSmart application:
Application No: **REFPA20260050**
Date Lodged: **24/04/2026**

Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Application type

Is this a VicSmart Application?*

No
If yes, please specify which VicSmart class or classes:
⚠ If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application

Pre-application meeting

Has there been a pre-application meeting with a Council planning officer?

False
If 'yes', with whom?:
Date: day / month / year

The Land ⓘ

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address*

Unit No:	St. No: 4	St. Name: NEILL STREET
Suburb/Locality: BEAUFORT		Postcode: 3373

Formal Land Description*

Complete either A or B

⚠ This information can be found on the certificate of title.

A Lot No: Lodged Plan Title Plan Plan of Subdivision No:

OR

B Crown Allotment No: Section No:

Parish/Township Name:

If this application relates to more than one address, please attach details.

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Attach the information required to assess the application. Insufficient or unclear information

For what use, development or other matter do you require a permit?*

Development of 2 additional dwellings, 3 lot subdivision and create an access from a Transport Road Zone

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of development for which the permit is required*

Cost \$600,000.00

You may be required to verify this estimate
Insert '0' if no development is proposed

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

Existing Conditions

Describe how the land is used and developed now*

Eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing dwelling

Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title*

If you need help about the title, read: [How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (if 'yes' contact Council for advice on how to proceed before continuing with this application.)
 No
 Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments' eg restrictive covenants.)

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit

Name:		
Title: Mr	First Name: James	Surname: Iles
Organisation (if applicable): iPlanning Services Pty Ltd		
Postal Address		If it is a PO Box, enter the details here:
Unit No:	St. No: 812	St. Name: Armstrong Street North
Suburb/Locality: Soldiers Hill		State: VIC
		Postcode: 3350

Owner *

The person or organisation who owns the land

Name:		
	First Name	Surname
Organisation (if applicable)		

Where the owner is different from the applicant, provide the details of that person or organisation.

Postal Address		If it is a PO Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:			Postcode:
Owner's Signature (optional):		Date:	
		day / month / year	

Information Requirements

Is the required information provided?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

- Yes
 No

Declaration ⓘ

This form must be signed by the applicant*

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

I declare that I am the applicant; and that all the information in this application is true and correct and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 24 April 2026

day / month / year

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Checklist

Have you:

<input type="checkbox"/>	Filled in the form completely?	 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
<input type="checkbox"/>	Paid or included the application fee?	
	Provided all necessary supporting information and document?	
<input type="checkbox"/>	A full and current copy of the information for each individual parcel of land forming the subject site.	
<input type="checkbox"/>	A plan of existing conditions.	
<input type="checkbox"/>	Plans showing the layout and details of the proposal.	
<input type="checkbox"/>	Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.	
<input type="checkbox"/>	If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).	

Lodgement

Lodge the completed and signed form and all documents with:

Pyrenees Shire Council
5 Lawrence Street BEAUFORT Vic 3373

Telephone: (03) 5349 1100

Contact information:

Telephone: (03) 5349 1100

Email: pyrenees@pyrenees.vic.gov.au

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PROPOSED DUAL OCCUPANCY AT 4 NEILL STREET, BEAUFORT FOR [REDACTED]

PLANNING PERMIT ISSUE

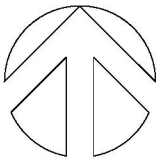
Sheet No: 1 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Cover
Client Name: [REDACTED]	Scale:
Date: 16/08/2023	Sheet Size: A3



stephencornish
DRAFTING AND DESIGN

REGISTRATION NO. DP-AD 264
Phone: (03) 5334 1545
Fax: (03) 5334 3914
Email: sc_draftingdesign@hotmail.com

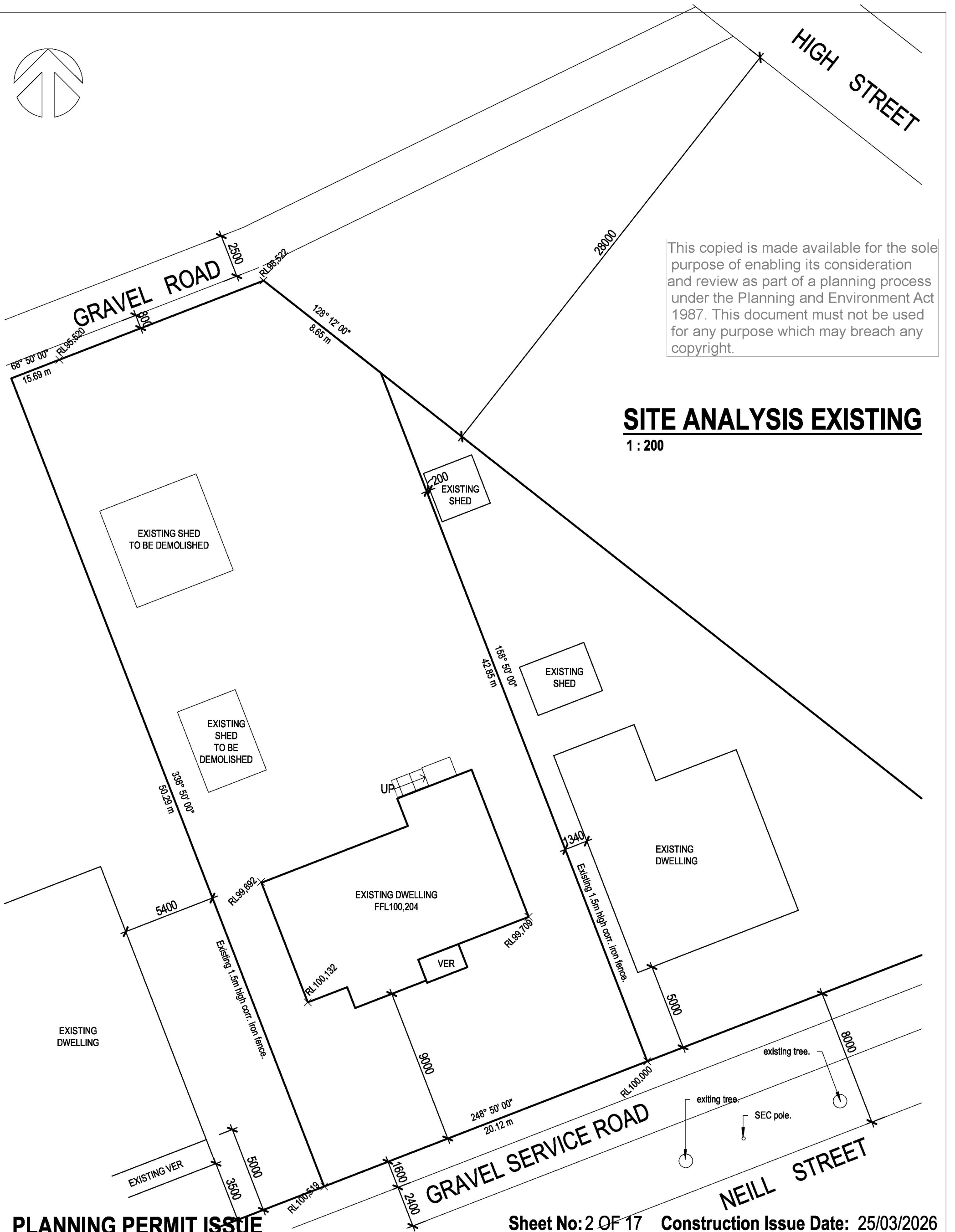


HIGH STREET

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SITE ANALYSIS EXISTING

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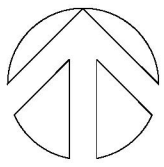
PLANNING PERMIT ISSUE

Sheet No: 2 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Site Analysis
Client Name: [REDACTED]	Scale: 1 : 200
Date: 16/08/2023	Sheet Size: A3

 **stephencornish**
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Phone: (03) 5334 1545
Fax: (03) 5334 3914
Email: sc_draftingdesign@hotmail.com

16/08/2023



NOTE:

These plans are to be read in conjunction with Landscaping plans prepared by Thommo Hay Landscaping Architects.

PRIVATE ROAD

HIGH STREET

NEILL STREET

LEGEND

- Indicates location of Downpipes.
- Indicates location of Downpipe Spreader.
- 90 Ø charged pipe system (SN 6 Class)
- Indicates location of 5000litre slimline tank connected to sanitary flushing systems. All roof downpipes to be connected to tank before overflowing to rain garden.
- Indicates location of rain garden 1.2m².

DESIGN RESPONSE

1 : 200

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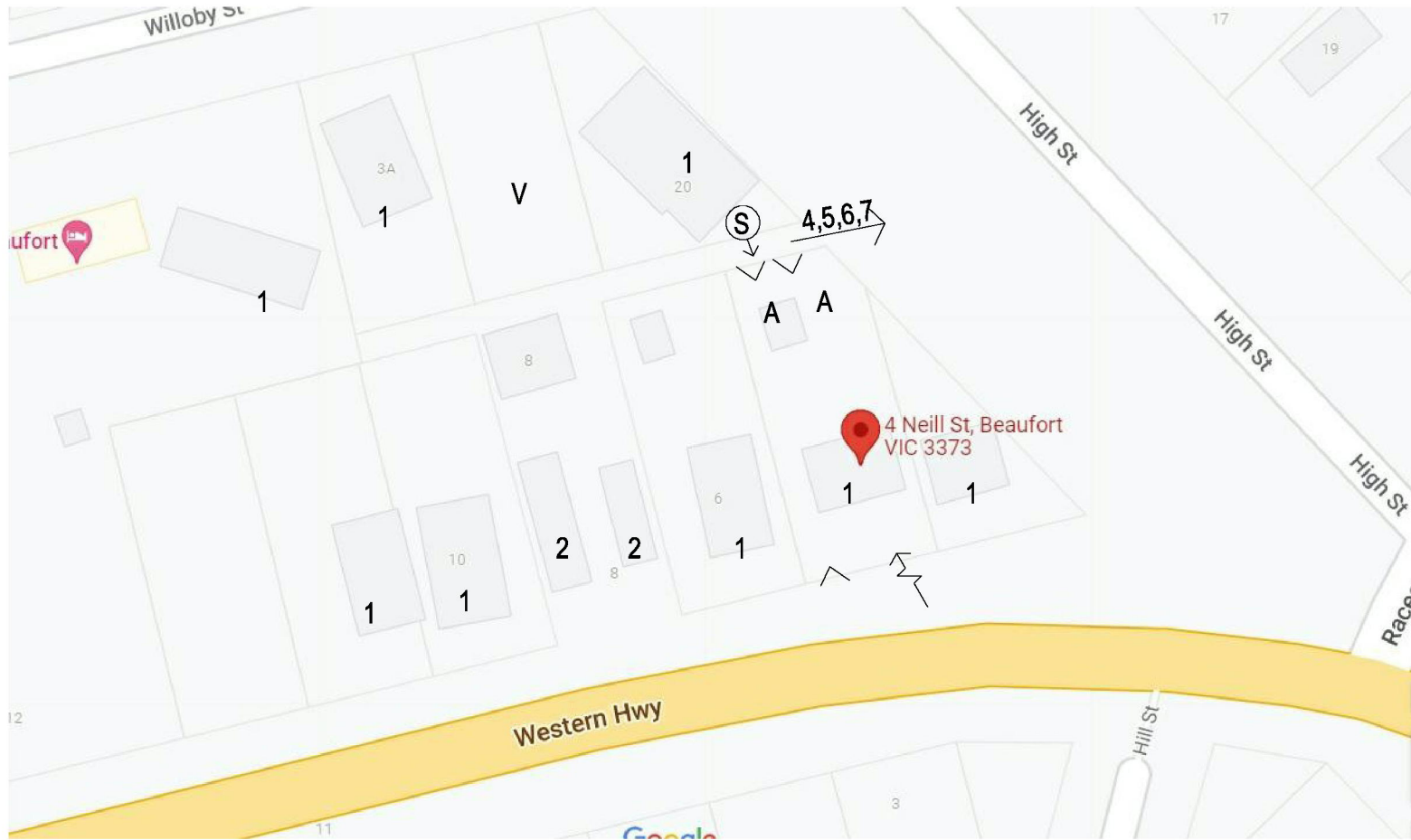
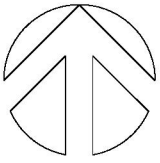
PLANNING PERMIT ISSUE

Sheet No: 3 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Shadow Diagram
Client Name: [REDACTED]	Scale: As indicated
Date: 16/08/2023	Sheet Size: A3

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SITE CONTEXT PLAN

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LEGEND

- A Proposed Single Storey Units
- 1 Single Storey Dwelling
- 2 Single Storey Units
- 3 Vacant
- 4 Schools - Primary - 1.80KM
- 5 Schools - Secondary - 1.80KM
- 6 Supermarket & Shops - 0.80KM
- 7 Recreation Reserve - 1.80KM
- ↘ Noise (From Road)
- ↘ Vehicular Site Entry
- (S) → Solar Access

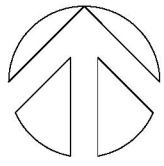
PLANNING PERMIT ISSUE

Sheet No: 4 OF 17 Construction Issue Date: 25/03/2026

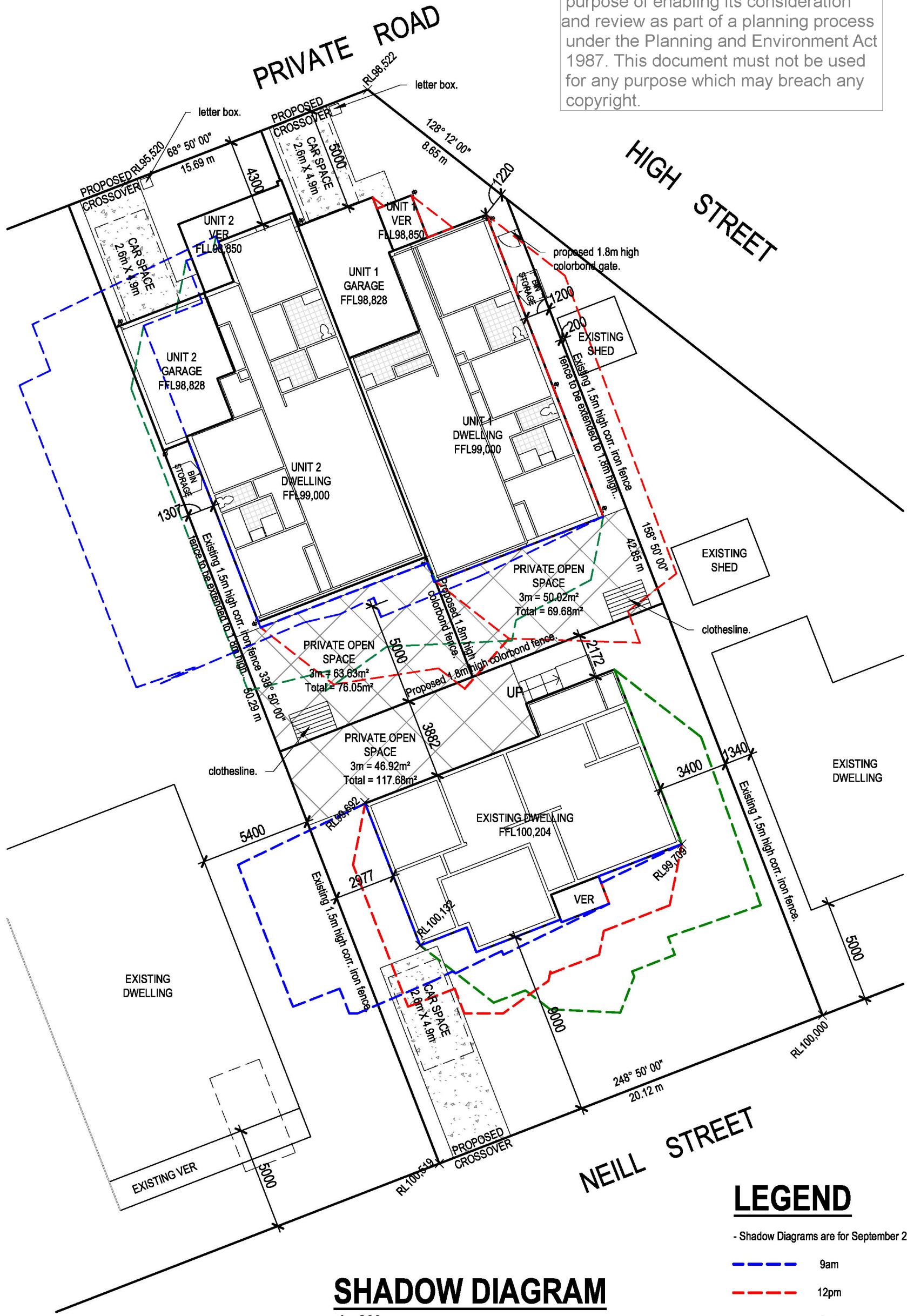
Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Site Context Plan
Client Name: [REDACTED]	Scale: As indicated
Date: 16/08/2023	Sheet Size: A3

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SHADOW DIAGRAM

1 : 200

LEGEND

- Shadow Diagrams are for September 22nd Conditions
- 9am
- 12pm
- 3pm

PLANNING PERMIT ISSUE

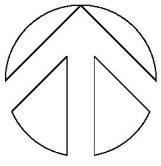
Sheet No: 5 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Shadow Diagram
Client Name: [REDACTED]	Scale: As indicated
Date: 16/08/2023	Sheet Size: A3

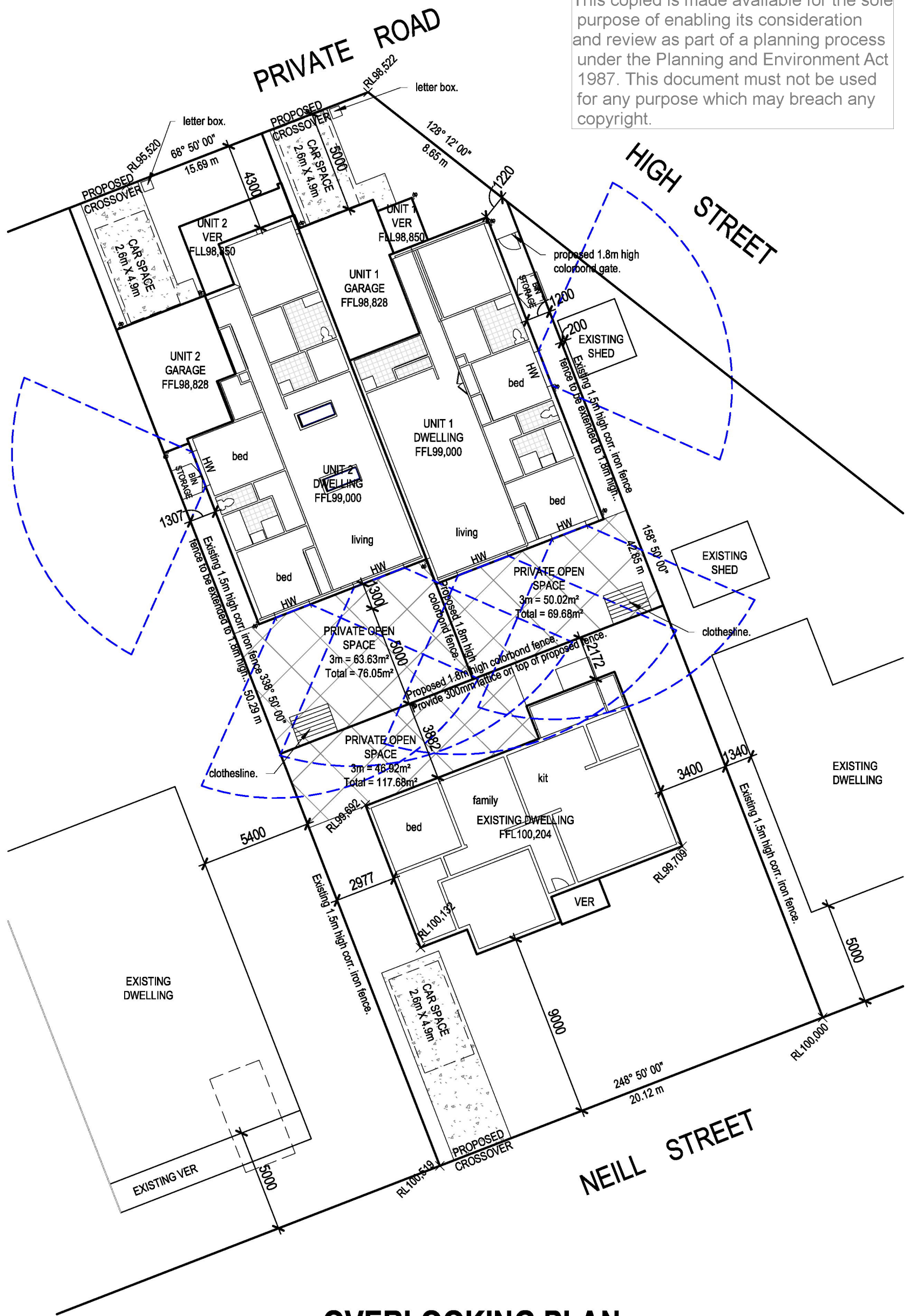
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16/08/2023



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OVERLOOKING PLAN

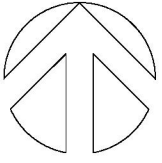
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PLANNING PERMIT ISSUE

Sheet No: 6 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: Overlooking Plan	
Client Name: [REDACTED]	Scale: 1 : 200	
Date: 16/08/2023	Sheet Size: A3	

16/08/2023



LEGEND

GARDEN AREA (MIN. 1M WIDE)

GARDEN REQUIREMENTS

Reg 76A

A Minimum Garden Area lot size 400 - 500m² = 25%

A Minimum Garden Area lot size 500 - 650m² = 30%

A Minimum Garden Area lot size 650m² above = 35%

Lot 1 Size	270.34sq.m
25%	67.59sq.m
Actual	95.95sq.m
Lot 2 Size	289.81sq.m
25%	72.45sq.m
Actual	118.95sq.m
Lot 3 Size	435.17sq.m
25%	108.79sq.m
Actual	274.04sq.m



GARDEN PLAN

1 : 200

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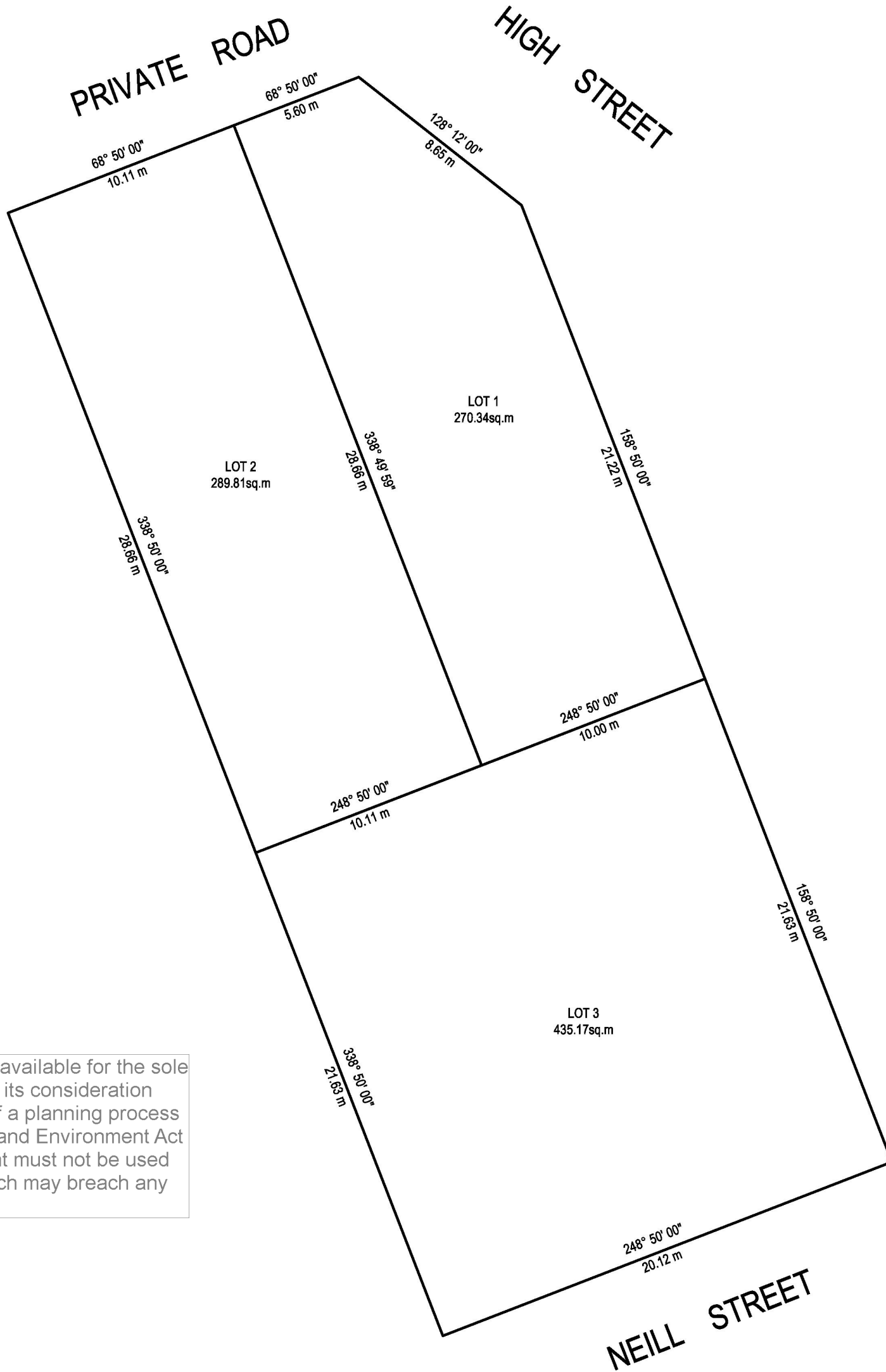
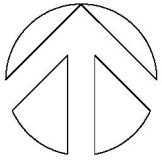
PLANNING PERMIT ISSUE

Sheet No: 7 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Garden Area
Client Name: [REDACTED]	Scale: As indicated
Date: 16/08/2023	Sheet Size: A3

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SUBDIVISION PLAN

1 : 200

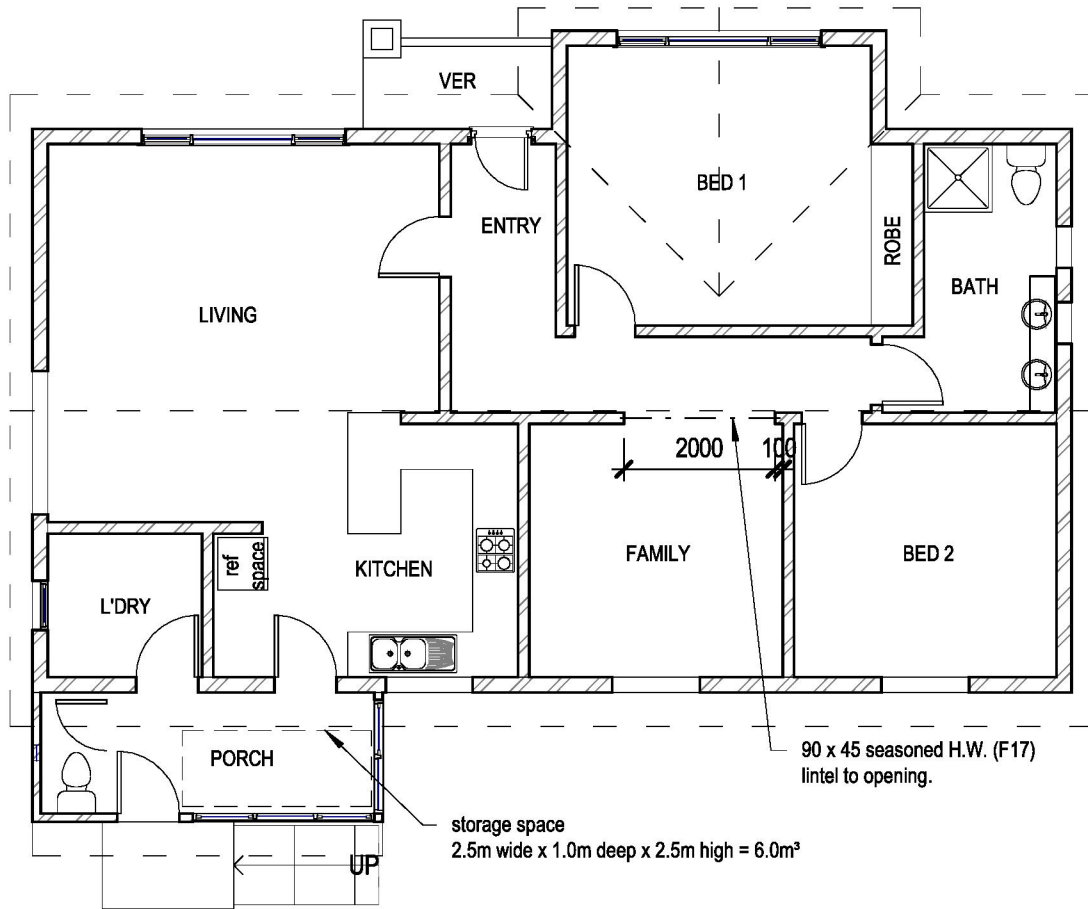
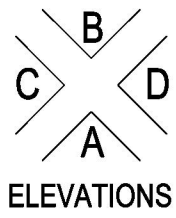
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PLANNING PERMIT ISSUE

Sheet No: 8 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Subdivision Plan
Client Name: [REDACTED]	Scale: 1 : 200
Date: 16/08/2023	Sheet Size: A3

 **stephencornish**
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REGISTRATION NO. DP-AD 264
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AREA SCHEDULE		
Area	m ²	sq
Area	76.05	8.18
Area	97.88	10.53
Existing Dwelling	116.03	12.48
Existing Verandah	3.60	0.39
Lot 1	270.34	29.08
Lot 2	289.81	31.18
Lot 3	435.17	46.82
Total Site Area	995.32	107.08
Unit 1 Dwelling	124.36	13.38
Unit 1 Garage	26.29	2.83
Unit 1 Verandah	3.98	0.43
Unit 2 Dwelling	129.85	13.97
Unit 2 Garage	27.34	2.94
Unit 2 Verandah	11.34	1.22

EXISTING DWELLING PROPOSED FLOOR PLAN

1 : 100

SITE COVERAGE

Reg 76 Site Coverage

Allotment Size	995.32sq.m
Existing Dwelling Area	116.03m ²
Existing Dwelling Verandah Area	3.60m ²
Proposed Unit 1 Dwelling & Garage Area	150.59m ²
Proposed Unit 1 Verandah Area	3.98m ²
Proposed Unit 2 Dwelling & Garage Area	138.15m ²
Proposed Unit 2 Verandah Area	3.98m ²
Proposed Unit 2 Alfresco Area	12.13m ²

Total Building Area 428.46sq.m

Actual Site Coverage 43.05%

SITE PERMEABILITY

Reg 77 Site Permeability

Allotment Size	995.32sq.m
Existing Dwelling/Verandah/Proposed Carport/Paved Area, Proposed Unit 1 & 2 Dwelling/Garage/Verandah/Paved Area	499.12sq.m

Total Permeable Area of Allotment Space 496.20sq.m

Actual Impermeable Coverage 50.15%

Actual Permeability 49.85%

PRIVATE OPEN SPACE

Reg 86 Private Open Space

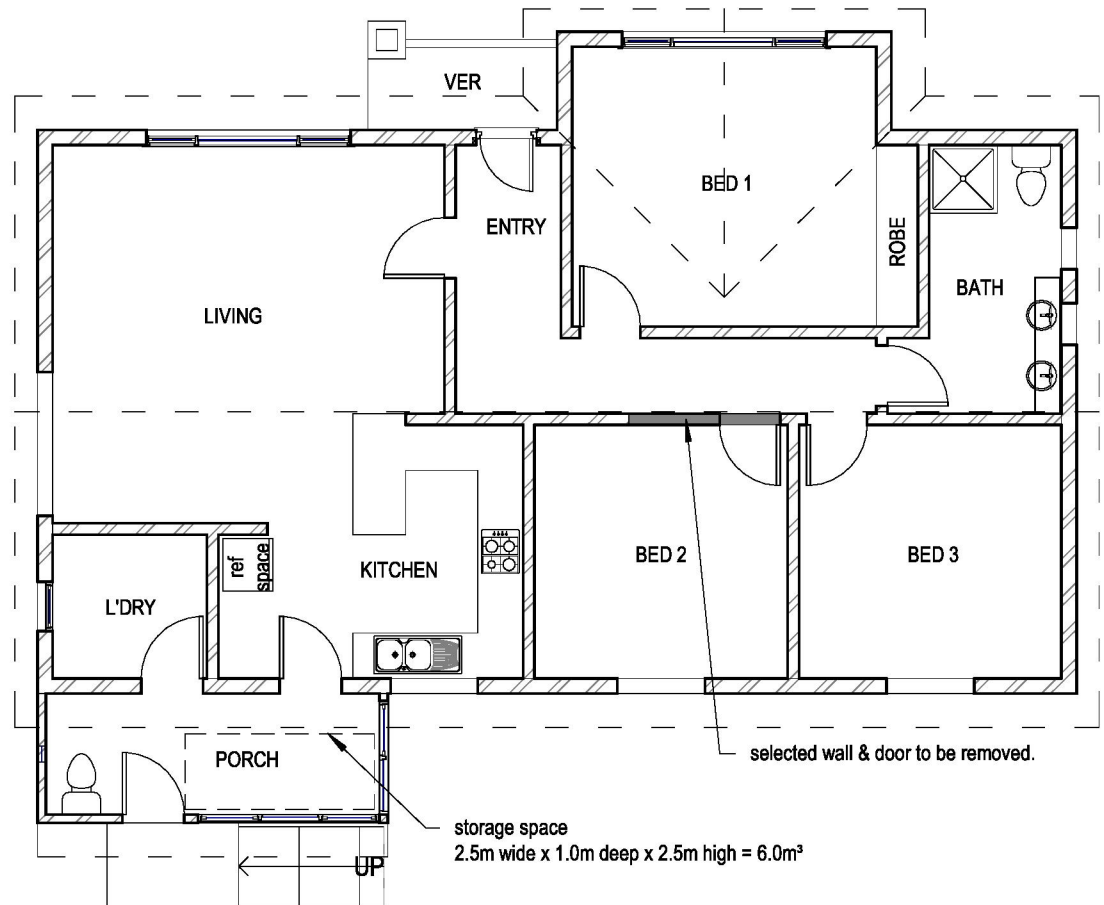
Existing Dwelling Minimum width of 3m	46.92sq.m
Existing Dwelling Total Private Open Space	117.68sq.m
Proposed Unit 1 Dwelling Minimum width of 3m	50.02sq.m
Proposed Unit 1 Dwelling Total Private Open Space	69.68sq.m
Proposed Unit 2 Dwelling Minimum width of 3m	60.62sq.m
Proposed Unit 2 Dwelling Total Private Open Space	78.54sq.m

GARDEN REQUIREMENTS

Reg 76A

A Minimum Garden Area lot size above 650m² = 35%

Lot Size	995.32sq.m
35%	348.36sq.m
Actual	488.95sq.m



EXISTING DWELLING FLOOR PLAN

1 : 100

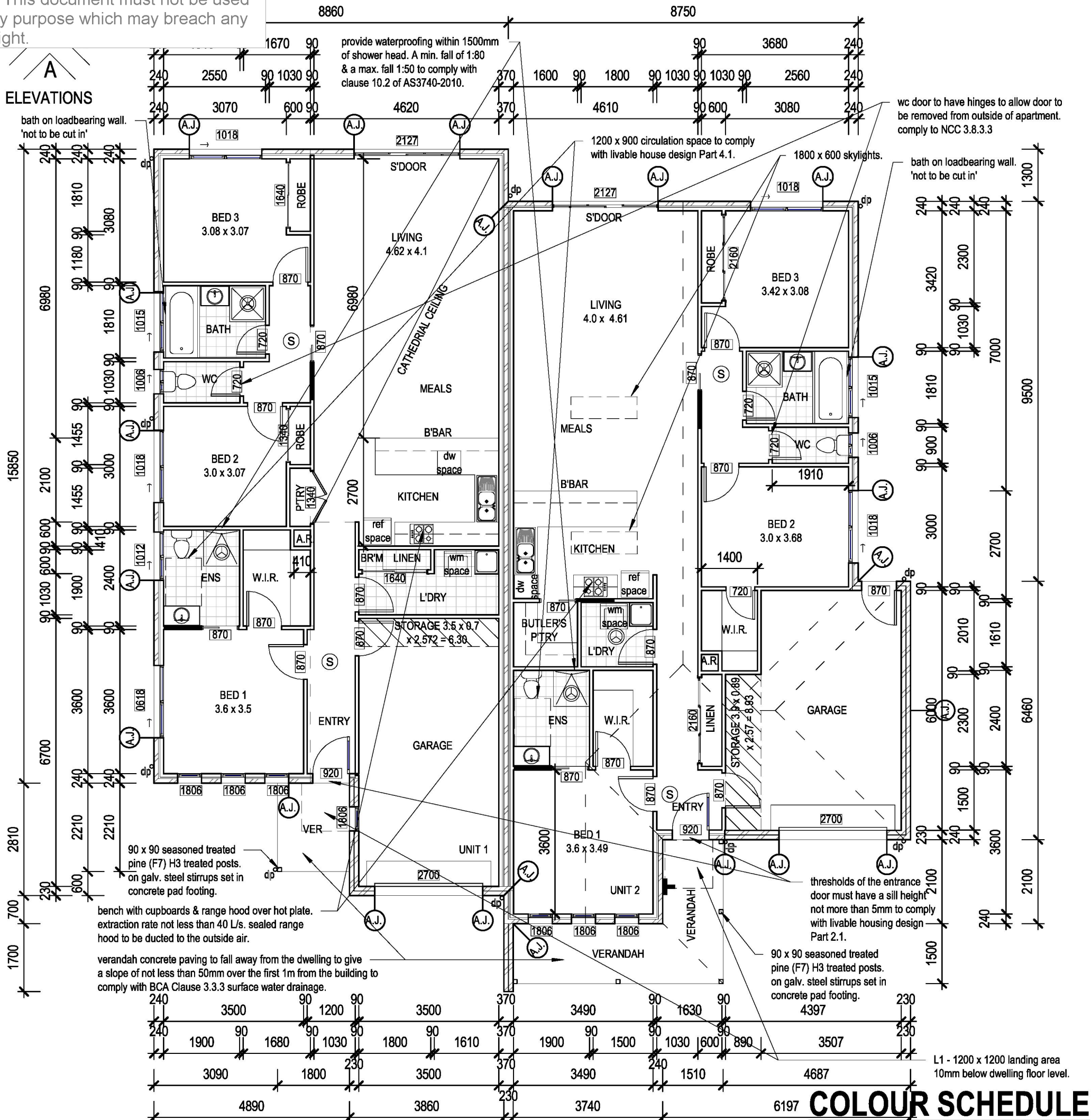
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PLANNING PERMIT ISSUE

Sheet No: 9 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	<p>REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com</p>
Project Address: 4 Neill Street, Beaufort	Drawing: Floor Plan	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	

16/08/2023



LEGEND

- (S) Indicates location of Smoke Detector. To be interconnected.
- (⊙) Sealed Exhaust Fans
 - Extraction rate not less than 25 L/s.
 - Mechanical ventilation to be vented via a duct or shaft to the outside air.
- Exhaust Fans (Rangehood) to kitchen & L'dry to have extraction rate not less than 40 L/s to be vented via a duct or shaft to the outside air.
- (A.J.) Location of Articulation Joints
 - Provide sealed articulation joints to brickwork comply with Technical Note 61-Articulated Walling.

UNIT 1 & 2 FLOOR PLAN

1 : 100

- (Grid Pattern) -Indicates location of floor coverings; tiled flooring.
 - NOTE: Floor coverings to be installed in wet areas compliant with NCC Part 3.8.1. All wet areas are to comply with NCC 3.8.1.2 and/or AS 3740 - 2010 wall finishes shall be impervious to a height of 1800mm above floor levels to shower enclosures and 150mm above baths, basins, sinks and troughs if within 75mm of the wall.
- (dp) Indicates location of Down Pipes.
- (T) Indicates location of Down Pipe Spreader.

COLOUR SCHEDULE

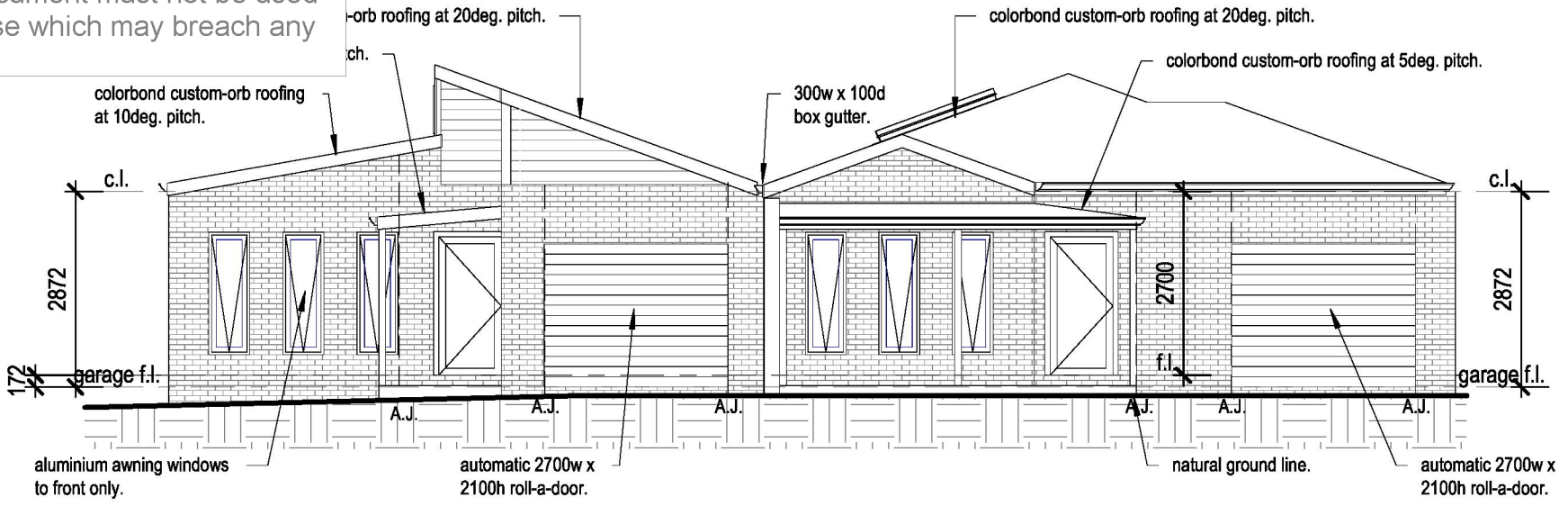
- Roofs
 - Colorbond custom-orb
 - Colour Monument
- External Walls
 - Brick Veneer
 - Colour Selkirk Cirrus (Light Grey)
- Window Frames
 - Colorbond custom-orb
 - Colour Monument
- Fascia
 - Colorbond custom-orb
 - Colour Monument
- Spout
 - Colorbond custom-orb
 - Colour Monument
- Weatherboard
 - JamesHardie
 - Linea Weatherboard
 - Colour Grey

PLANNING PERMIT ISSUE

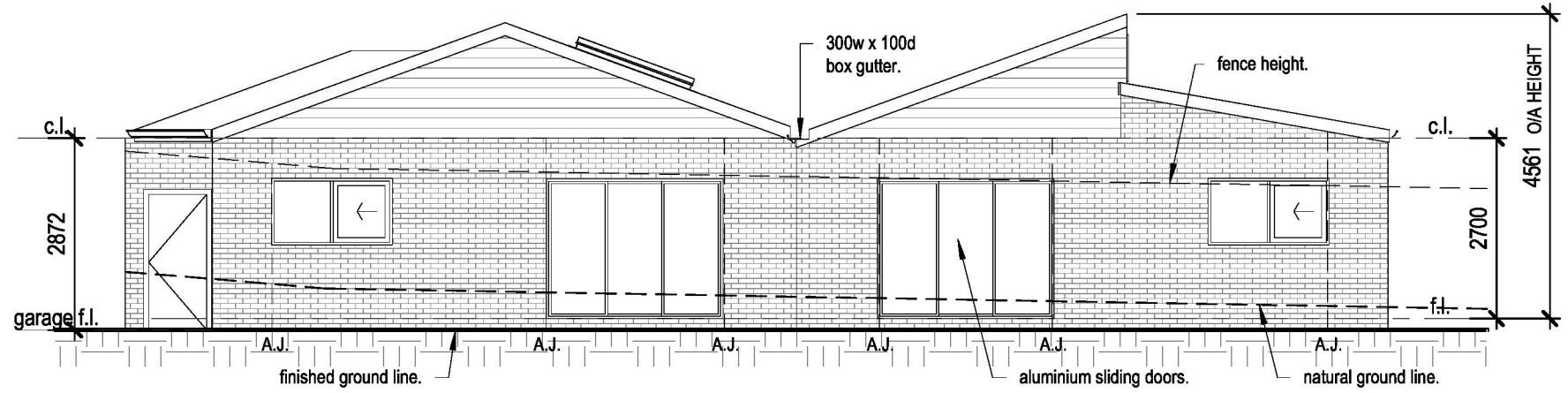
Sheet No: 10 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	<p>REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com</p>
Project Address: 4 Neill Street, Beaufort	Drawing: Floor Plan	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	

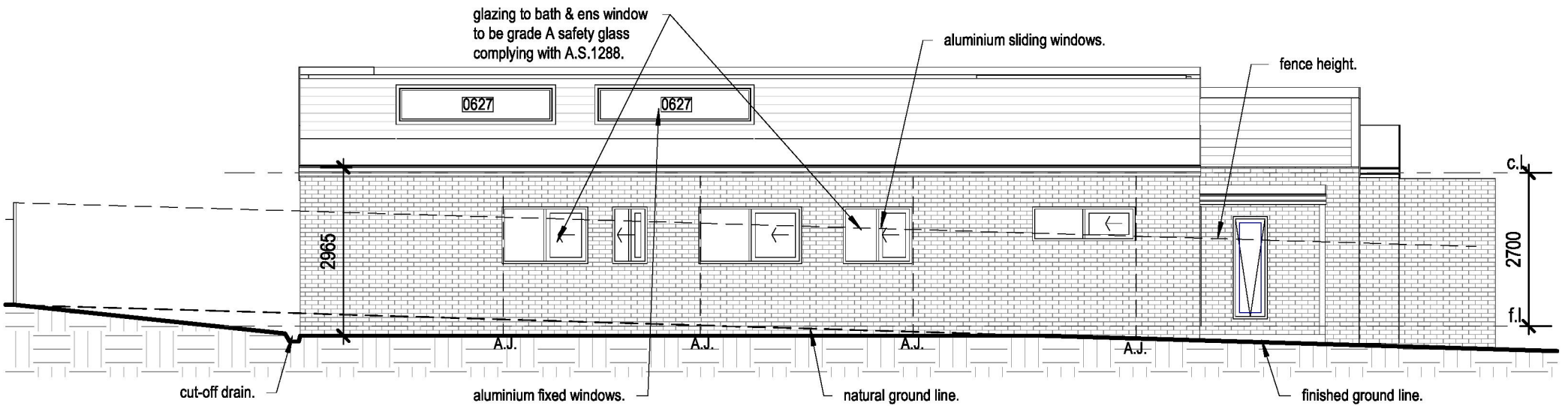
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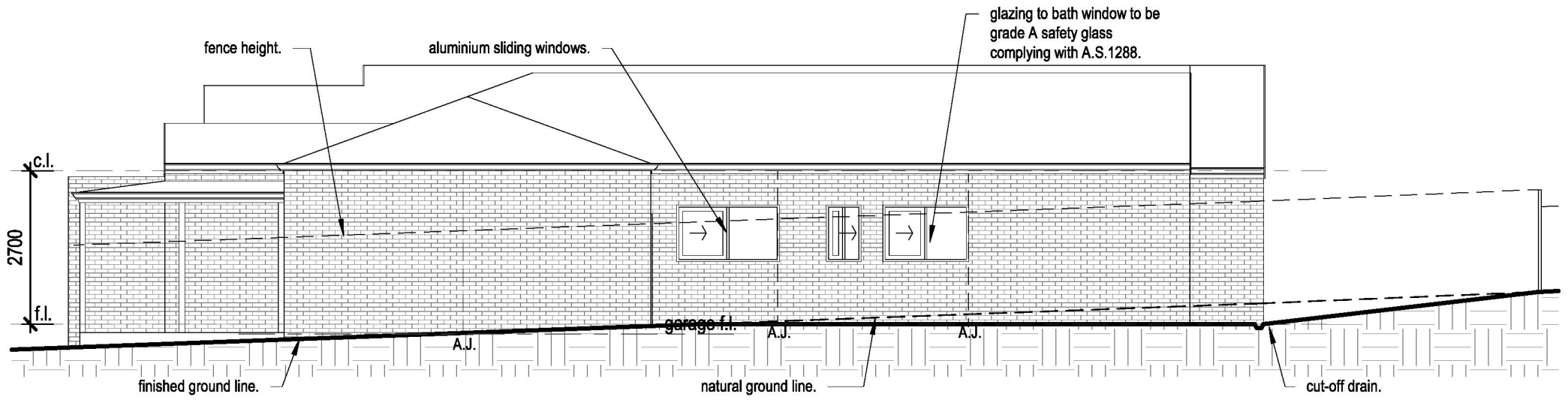
UNITS ELEVATION A
1 : 100



UNITS ELEVATION B
1 : 100




UNITS ELEVATION C
1 : 100



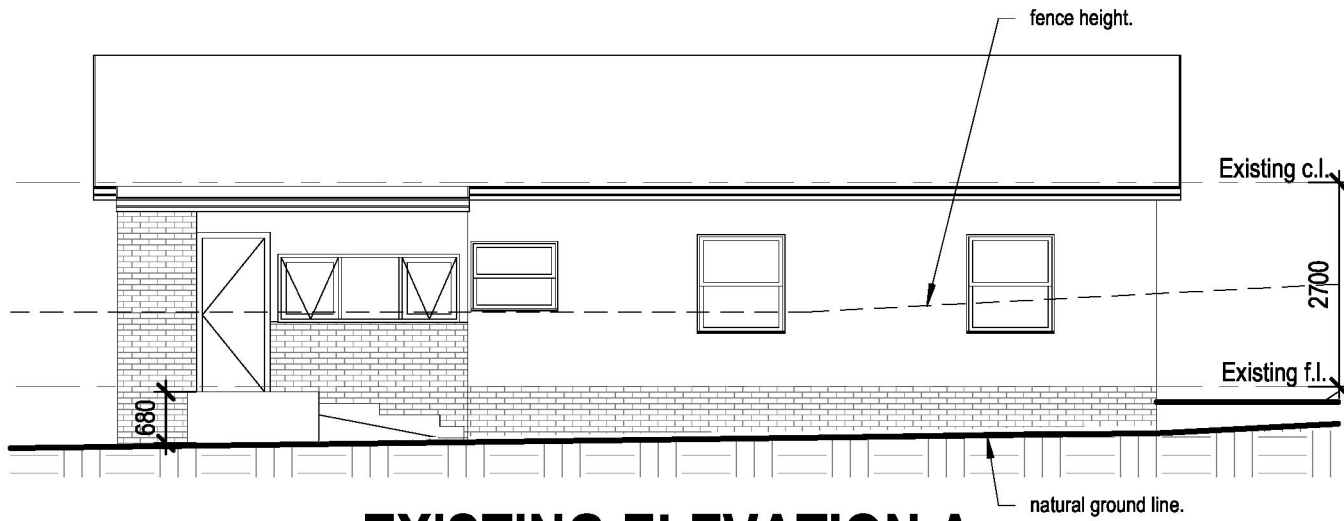
UNITS ELEVATION D
1 : 100

PLANNING PERMIT ISSUE

Sheet No: 11 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: Elevations	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	

16/08/2023



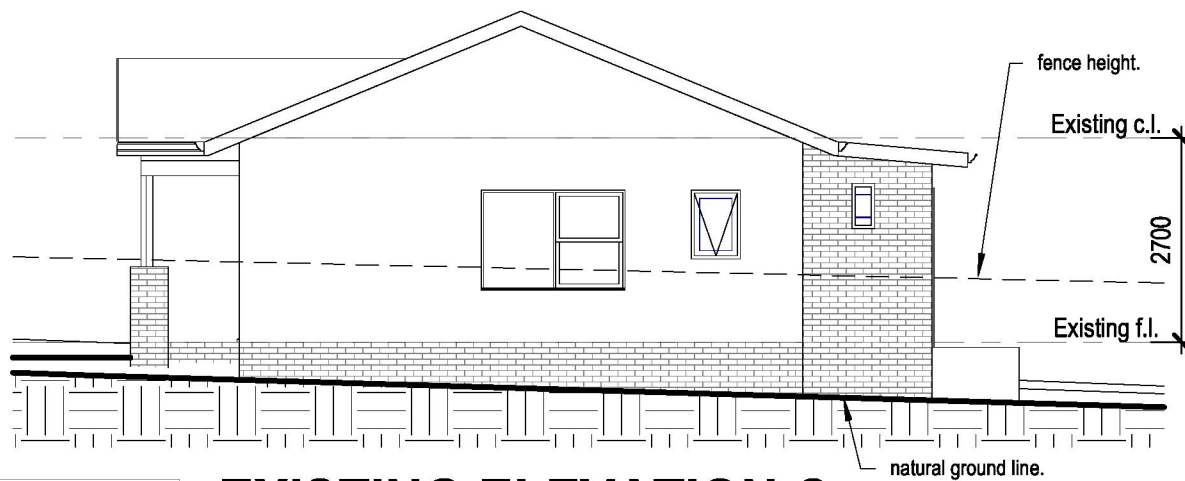
EXISTING ELEVATION A

1 : 100



EXISTING ELEVATION B

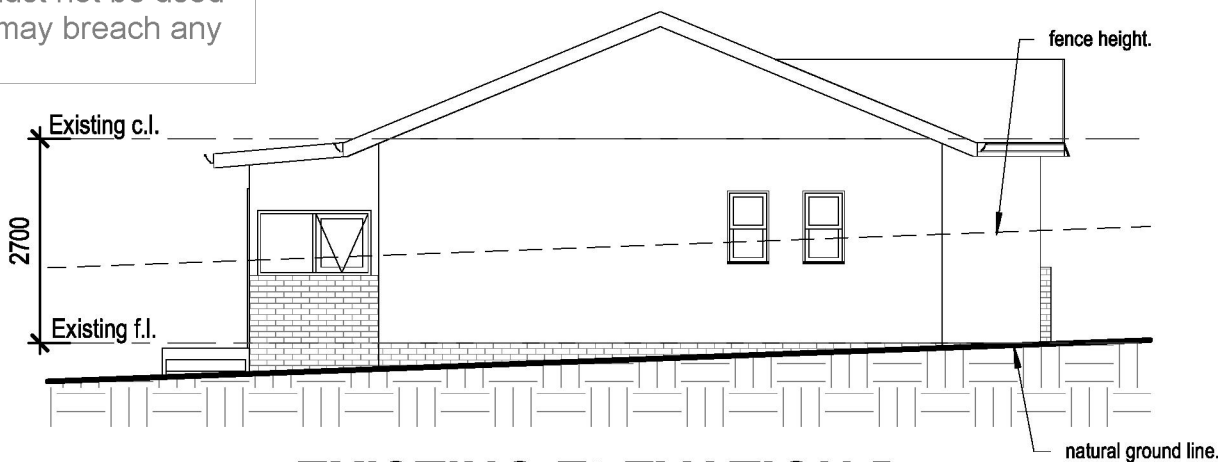
1 : 100



EXISTING ELEVATION C

1 : 100

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EXISTING ELEVATION D

1 : 100

PLANNING PERMIT ISSUE

Sheet No: 12 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Elevations
Client Name: [REDACTED]	Scale: 1 : 100
Date: 16/08/2023	Sheet Size: A3

 **stephencornish**
DRAFTING AND DESIGN
REGISTRATION NO. DP-AD 264
Phone: (03) 5334 1545
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WINDOW SCHEDULE

Code	Location	Description	Height	Width	Head Height	Frame Material	Glazing	U-Value	SHGC
0618	Unit 1 Bed 1	Single Slider	600	1810	2100	Aluminium	Single Clear	6.70	0.70
0618	Unit 2 Kitchen	Skylight Fixed	1810	600		Aluminium	Single Clear	6.70	0.70
0618	Unit 2 Meals	Skylight Fixed	1810	600		Aluminium	Single Clear	6.70	0.70
0627	Unit 1 Highlight	Fixed Sash	600	2710	1500	Aluminium	Single Clear	6.70	0.70
0627	Unit 1 Highlight	Fixed Sash	600	2710	1500	Aluminium	Single Clear	6.70	0.70
1006	Unit 1 WC	Single Slider	1000	610	2100	Aluminium	Single Clear	6.70	0.70
1006	Unit 2 WC	Single Slider	1000	610	2100	Aluminium	Single Clear	6.70	0.70
1012	Unit 1 Ens	Single Slider	1000	1210	2100	Aluminium	grade A safety glass	6.70	0.70
1015	Unit 1 Bath	Single Slider	1000	1510	2100	Aluminium	grade A safety glass	6.70	0.70
1015	Unit 2 Bath	Single Slider	1000	1510	2100	Aluminium	grade A safety glass	6.70	0.70
1018	Unit 1 Bed 2	Single Slider	1000	1810	2100	Aluminium	Single Clear	6.70	0.70
1018	Unit 1 Bed 3	Single Slider	1000	1810	2100	Aluminium	Single Clear	6.70	0.70
1018	Unit 2 Bed 2	Single Slider	1000	1810	2100	Aluminium	Single Clear	6.70	0.70
1018	Unit 2 Bed 3	Single Slider	1000	1810	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 1 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 1 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 1 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 2 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 2 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 2 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 2 Bed 1	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70
1806	Unit 1 Garage	Awning Sash	1800	600	2100	Aluminium	Single Clear	6.70	0.70

DOOR SCHEDULE

Code	Location	Description	Height	Width	Frame Material	Glazing	U-Value	SHGC
2127	Unit 1 Living	3 Panel Sliding XOX	2088	2643	Aluminium	Single Clear	6.70	0.70
2127	Unit 2 Living	3 Panel Sliding XOX	2088	2643	Aluminium	Single Clear	6.70	0.70

LIGHTING SCHEDULE - Max. 5 W/m²

Room Name	Room Area m ²	Max. Watts Per Room
Unit 1 Bath	4.62	23.08
Unit 1 Bed 1	12.60	63.00
Unit 1 Bed 2	10.08	50.42
Unit 1 Bed 3	11.30	56.52
Unit 1 Ens	4.56	22.80
Unit 1 Entry/Kit/Living	52.01	260.07
Unit 1 Hallway	3.68	18.39
Unit 1 L'Dry	5.71	28.53
Unit 1 WC	1.97	9.84
Unit 1 WIR	4.03	20.16
Unit 2 Bath	4.63	23.17
Unit 2 Bed 1	12.56	62.82
Unit 2 Bed 2	11.04	55.20
Unit 2 Bed 3	12.59	62.93
Unit 2 Ens	4.56	22.80
Unit 2 Entry/Kit/Living	52.95	264.75
Unit 2 Hallway	3.47	17.35
Unit 2 L'Dry	2.90	14.49
Unit 2 P'Try	2.58	12.88
Unit 2 WC	1.72	8.60
Unit 2 WIR	3.60	18.00
Unit 2 WIR	2.81	14.07

LIGHTING SCHEDULE - Max. 4 W/m²

Room Name	Room Area m ²	Max. Watts Per Room
Unit 1 Verandah	4.20	16.80
Unit 2 Verandah	11.05	44.18

LIGHTING SCHEDULE - Max. 3 W/m²

Room Name	Room Area m ²	Max. Watts Per Room
Unit 1 Garage	23.45	70.35
Unit 2 Garage	24.51	73.54

ARTIFICIAL LIGHTING CALCULATIONS

Room Name	Room Area m ²	Max Watts Required	Lighting	Watts Achieved	Complies
Unit 1 Dwelling	110.85	554.25	15 Watt LED Downlight = 13	65.00	Yes
Unit 1 Garage	23.45	70.35	Fluorescent = 1	36.00	Yes
Unit 1 Verandah	4.20	16.8	15 Watt LED Downlight = 1	15.00	Yes
Unit 2 Dwelling	115.32	576.60	15 Watt LED Downlight = 15	75.00	Yes
Unit 2 Garage	24.59	73.77	Fluorescent = 1	36.00	Yes
Unit 2 Verandah	11.03	44.12	15 Watt LED Downlight = 1	15.00	Yes

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PLANNING PERMIT ISSUE

Sheet No: 13 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish
Project Address: 4 Neill Street, Beaufort	Drawing: Schedules
Client Name: [REDACTED]	Scale: 1 : 100
Date: 16/08/2023	Sheet Size: A3

stephencornish
DRAFTING AND DESIGN

REGISTRATION NO. DP-AD 264
Phone: (03) 5334 1545
Fax: (03) 5334 3914
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3.2 CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES

3.2.1 Attached structures

Where any part of a garage, carport, veranda or similar roofed structure is attached to, or shares a common roof space with, a building required to comply with this Standard, the entire garage, carport, veranda or similar roofed "Structure shall comply with the construction requirements of this Standard, as applicable to the subject building. Alternatively, the structure shall be separated from the subject building by a wall that extends to the underside of a non-combustible roof covering, and that complies with one of the following:

- (a) The wall shall have an FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-loadbearing walls when tested from the attached structure side and shall have openings protected as follows:
 - (i) Doorways-by FRL -/60/30 self-closing fire doors. (ii) Windows-by FRL -/60/-fire windows permanently fixed in the closed position. (iii) Other openings-by construction with an FRL not less than -/60/-.

NOTE: Control and construction joints, subfloor vents, weepholes and penetrations for pipes and conduits need not comply with the above [Item (iii)].
- (b) The wall shall be of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 mm in thickness and shall have openings protected as follows:
 - (i) Doorways-by FRL -/60/30 self-closing fire doors. (ii) Windows-by FRL -/60/-fire windows permanently fixed in the closed position. (iii) Other openings-by construction with an FRL not less than -/60/-.

NOTE: Control and construction joints, subfloor vents, weepholes and penetrations for pipes and conduits need not comply with the above [Item (iii)].

3.6 VENTS, WEEPHOLES, GAPS AND SCREENING MATERIALS

3.6.1 Vents, weepholes, joints and the like

All gaps including vents, weepholes and the like shall be screened, except for weepholes to the sills of windows and doors. All joints shall be suitably backed with a breathable sarking or mesh, except as permitted by Clause 3.3. The maximum allowable aperture size of any mesh or perforated material used as a screen shall be 2 mm.

3.6.2 Gaps to door and window openings

Where screens are fitted to door openings for ember protection, they shall have a maximum aperture of 2.0 mm and be tight fitting to the frame in the closed position. Gaps between doors including jambs, heads or sills (thresholds) shall be protected using draught seals and excluders or the like. Windows conformant with AS 2047 will satisfy the requirements for gap protection. Screens fitted to window openings shall have a maximum aperture of 2.0 mm and these shall be tight fitting to the frames.

5.4 EXTERNAL WALLS

5.4.1 Walls

The exposed components of an external wall that are less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the wall shall be:

- (a) Non-combustible material.

NOTE: Examples include, but are not limited to, the following (with a minimum of 90mm in thickness)

 - (a) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone. (b) Precast or in situ walls of concrete or aerated concrete.(c) Earth wall including mud brick or
- (b) Timber logs of a species with a density of 680kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm; and gauge planed. or
- (c) Cladding that is fixed externally to a timber-framed or a steel framed wall and is:
 - (i) non-combustible material; or (ii) fibre-cement a minimum of 6mm in thickness; or (iii) bushfire-resisting timber; or (iv) a timber species as specified in Paragraph E1, Appendix E; or (v) a combination of any of the items (i), (ii), (iii) or (iv) above. or
- (d) A combination of any of Items (a), (b) or (c) above.

This standard does not provide construction requirement for the exposed components of an external wall that are 400mm or more from the ground level or 400mm or more above decks, carport roofs, awnings and similar elements or fittings an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the wall.

5.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm. Alternatively, sacking-type material may be applied over the outer face of the frame prior to fixing any external cladding.

5.4.3 Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor space.

5.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

5.5.1 Bushfire Shutters

Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from -

- (a) non-combustible material; or (b) a timber species as specified in Paragraph E1, Appendix E; or (c) bushfire-resisting timber (see Appendix F); or (d) a combination of any of Items (a), (b) or (c).

5.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze, or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3mm. The frame supporting the mesh or perforated steel shall be made from:

- (a) metal; or (b) bushfire-resisting timber; or (c) a timber species as specified in Paragraph E2, Appendix E.

5.5.3 Windows and sidelights

Window assemblies shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or (b) They shall be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- (c) They shall comply with the following:
 - (i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, window frames and window joinery shall be made from one of the following:
 - (A) Bushfire-resisting timber (see Appendix F in A.S.3959-2009). or (B) A timber species specified in Paragraph E2 and listed in Table E2, Appendix E of A.S.3959-2009). or (C) Metal. or
 - (D) Metal-reinforced PVC-D. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.
 - (ii) Hardware There is no specific restrictions on hardware for windows. (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be Grade A safety glass minimum 4 mm thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.
 - (iv) Seals and weather strips There are no specific requirements for seals and weather strips at the BAL level. (v) Screens The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

5.5.4 Doors-Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following: .

- (a) They shall be protected by a bushfire shutters that conform with Clause 3.7 and Clause 5.5.1. or (b) They shall be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or (c) They shall comply with the following:
 - (i) Doors shall be;
 - (A) non-combustible; or (B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35mm for the first 400mm above the threshold; or
 - (C) a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or (D) hollow core, solid timber, laminated or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or
 - (E) for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.
 - (ii) Door frame Material Door frame materials shall be;
 - (A) Bushfire-resisting timber (see Appendix F); or (B) A timber species specified in Paragraph E2 of Appendix E; or (C) Metal; or (D) Metal-reinforced PVC-D. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
 - (iii) Hardware There are no specific requirements for hardware at this BAL Level. (iv) Glazing the glazing shall be Grade A safety glass a minimum of 4 mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.
 - (v) Seals and weather strips. Weather strips, draft excluders or draft seals shall be installed. (vi) Screens. There are no requirements to screen the openable part of the door at this BAL Level.
 - (vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.


5.5.5 Doors-Sliding doors

Sliding doors shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or (b) They shall be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or.
- (c) They conform with the following:
 - (i) Frame material. The material for the door frames, including fully framed glazed doors shall be -
 - (A) Bushfire-resisting timber (see Appendix F); or (B) A timber species specified in Paragraph E2 of Appendix E; or (C) Metal; or
 - (D) Metal-reinforced PVC-D. and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
 - (ii) Hardware There are no specific requirements for hardware at this BAL Level. (iii) Glazing Where doors incorporate glazing. The glazing shall be grade A safety glass minimum of 4 mm in thickness.
 - (iv) Seals and weather strips. There are no specific requirements for seals and weather strips at the BAL level. (v) Screens. There are no requirements to screen the openable part of the door at this BAL Level.
 - (vi) Sliding panels shall be tight-fitting in the frames.

PLANNING PERMIT ISSUE

Sheet No: 14 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: BAL Notes	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	

BAL REQUIREMENTS CONTINUED

5.5.6 Doors- Vehicle access doors (garage doors)

The following apply to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from-
- (i) Non-combustible material; or (ii) bushfire-resisting timber (see Appendix F); or (iii) fibre-cement sheet, a minimum of 6 mm in thickness; or (iv) a timber species specified in Paragraphs E1 and listed in Table E1, Appendix E; or (v) a combination of any of Items (i), (ii), (iii) or (iv) above.
- (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

1. Refer to AS/NZS 4505 for door types. 2. Gaps of door edges or building elements should be protected as per Section 3.
- (c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

5.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

5.6.1 General

The following apply to all types of roofs and, roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible. (b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall. (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. (d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.

5.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall –

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking; (b) cover the entire roof area including ridges and hips; and (c) extend into gutters and valleys.

5.6.3 Sheet roofs

Sheet roofs shall-

- (a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or (b) have any gaps sealed at the fascia or wall line, hips and ridges by –
- (i) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium; or (ii) mineral wool; or
 - (iii) other non-combustible material; or (iv) a combination of any of Items (i), (ii), or (iii) above.

5.6.4 Verandah, carport and awning roofs

The following apply to verandah, carport and awning roofs:

- (a) A verandah, carport or awning roof forming part of the main roof space shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.
- (b) A verandah, carport or awning roof separated from the main roof space by an external wall and complying with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.
- NOTE: There is no requirement to line the underside of a verandah, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

The following apply to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium. This requirement does not apply to exhaust flues of heating or cooking devices with closed combustion chambers. In case of gas appliance flues, ember guards shall not be fitted.
- NOTE: Gas fitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowling complying with AS4566. Advice may be obtained from State gas technical regulators.
- (c) All overhead glazing shall be Grade A safety glass complying with AS1288.
- (d) Glazing elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS1288, is installed under the glazing. Where glazing is an insulation glazing unit (IGU), Grade A toughened safety glass minimum 4mm thickness, shall be used in the outer pane of the IGU.
- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.
- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2mm, made from a corrosion-resistant steel, bronze or aluminium. (g) Vent pipes made from PVC are permitted.

5.6.6 Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

- (a) Gables shall comply with Clause 5.4. (b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 5.6.5. (c) Eaves ventilation openings greater than 3mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium. Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds. This standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes

This standard does not provide material requirements for:

- (a) gutters, with the exception of box gutters; and (b) downpipes. If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

5.7 VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS

5.7.2.1 Materials to enclose a subfloor space

This standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400mm from the ground.

Where the materials used to enclose a subfloor space are less than 400mm from the ground, they shall comply with Clause 5.4.

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck shall be made from:

- (a) non-combustible material; or (b) bushfire-resisting timber; or (c) a timber species as specified in Paragraph E1, Appendix E; or (d) PVC-U; or (e) a combination of any of items (a), (b), (c) or (d) above.

5.7.3.3 Decking, stair trends and the trafficable surfaces of ramps and landings

This standard does not provide construction requirements for decking, stair trends and the trafficable surfaces of ramps and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck shall be made from:

- (a) non-combustible material; or (b) bushfire-resisting timber; or (c) a timber species as specified in Paragraph E1, Appendix E; or (d) a combination of any of items (a), (b), or (c) above.

5.7.4 Balustrades, handrails or other barriers

This standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 Verandah posts


Verandah posts-

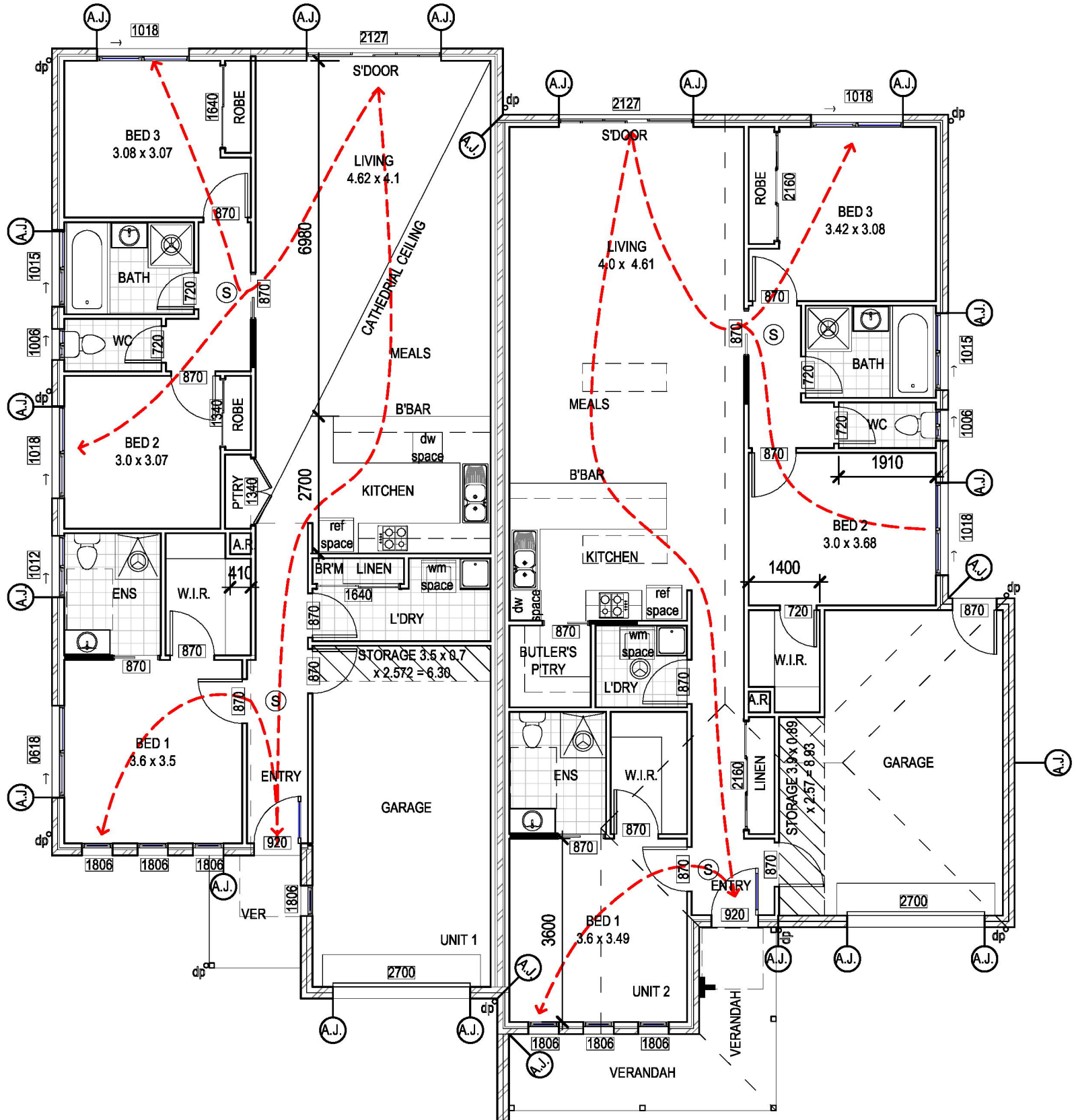
- (a) shall be timber mounted on galvanised mounted shoes or stirrups with a clearance of not less than 75 mm above the adjacent finished ground level; or (b) less than 400 mm (measured vertically) from the surface of the deck or ground shall be made from -
- (i) non-combustible material; or (ii) bushfire resisting timber; or (iii) a timber species as specified in Paragraph E1, Appendix E; or (iv) a combination of any of Items (a) or (b).

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PLANNING PERMIT ISSUE

Sheet No: 15 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: BAL Notes	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	



UNIT 1 & 2 FLOOR PLAN (LIVEABILITY ISSUES)

1 : 100

LIVEABILITY OBJECTIVES

NATURAL VENT / BREEZEBATHS

PART 55.03-10 NATURAL VENTILATION OBJECTIVES,

← BREEZE PATH

A MAXIMUM BREEZE PATH THROUGH THE DWELLING OF 18 METRES,
A MINIMUM BREEZE PATH THROUGH THE DWELLING OF 5 METRES,
VENTILATION OPENINGS WITH APPROXIMATELY THE SAME SIZE,
THE BREEZE PATH IS MEASURED BETWEEN THE VENTILATION OPENINGS
ON DIFFERENT ORIENTATIONS OF THE DWELLING.

ROOM DEPTH

PART 55.03-08 NATURAL DEPTH OBJECTIVES,


TO ALLOW ADEQUATE DAYLIGHT INTO SINGLE ASPECT HABITABLE ROOMS.
THE DEPTH OF A SINGLE ASPECT HABITABLE ROOM
DOES NOT EXCEED 2.5 TIMES THE CEILING HEIGHT
MEASURED FROM THE EXTERNAL SURFACE OF THE
HABITABLE ROOM WINDOW TO THE REAR WALL OF THE ROOM.
TYPICAL CEILING HEIGHT OF 2.7M THE MAXIMUM ROOM DEPTH IS 6.75M
FOR SINGLE ASPECT ROOMS.

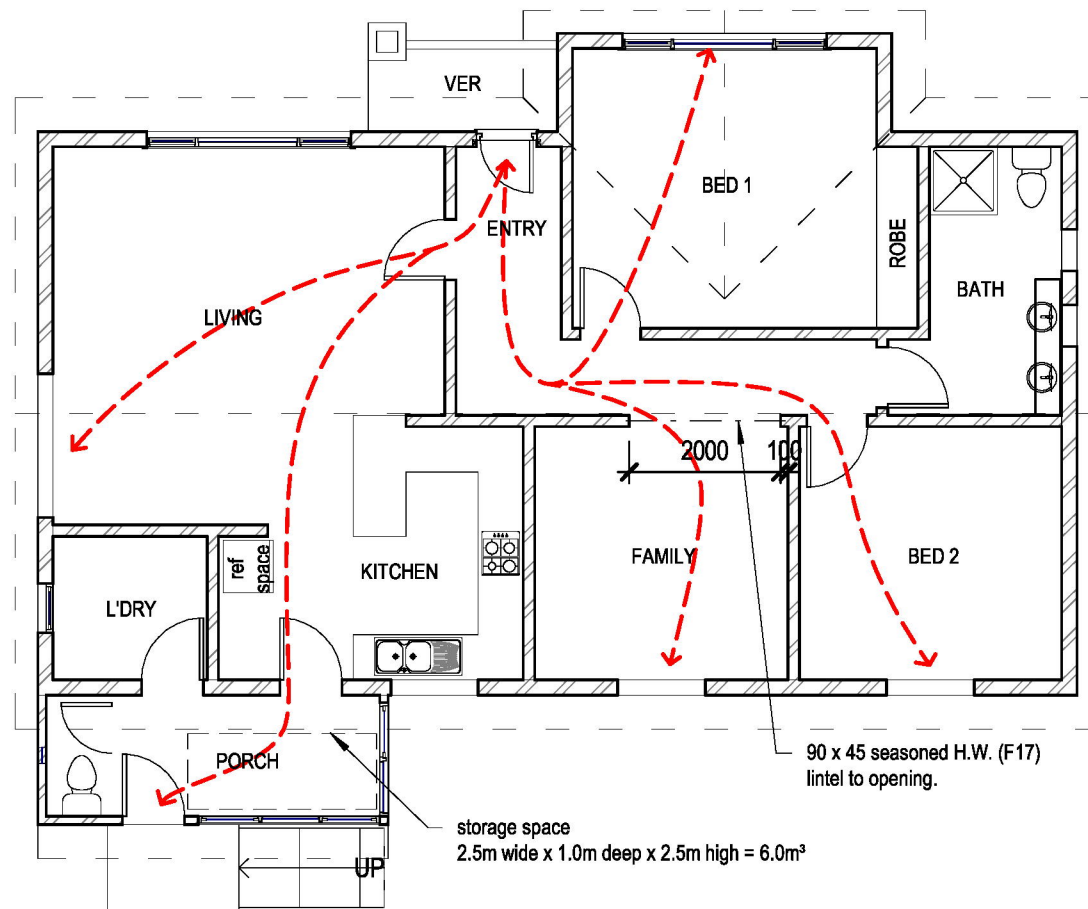
NOTE: A SINGLE ASPECT HABITABLE ROOM IS A HABITABLE ROOM
WITH WINDOWS ON ONLY ONE WALL.

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PLANNING PERMIT ISSUE

Sheet No: 16 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: Floor Plan	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	



EXISTING DWELLING PROPOSED FLOOR PLAN (LIVEABILITY ISSUES)

1 : 100

LIVEABILITY OBJECTIVES.

NATURAL VENT / BREEZEBATHS

PART 55.03-10 NATURAL VENTILATION OBJECTIVES,



BREEZE PATH

A MAXIMUM BREEZE PATH THROUGH THE DWELLING OF 18 METRES,
A MINIMUM BREEZE PATH THROUGH THE DWELLING OF 5 METRES,
VENTILATION OPENINGS WITH APPROXIMATELY THE SAME SIZE,
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ROOM DEPTH

PART 55.03-08 NATURAL DEPTH OBJECTIVES,


TO ALLOW ADEQUATE DAYLIGHT INTO SINGLE ASPECT HABITABLE ROOMS.
THE DEPTH OF A SINGLE ASPECT HABITABLE ROOM
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TYPICAL CEILING HEIGHT OF 2.7M THE MAXIMUM ROOM DEPTH IS 6.75M
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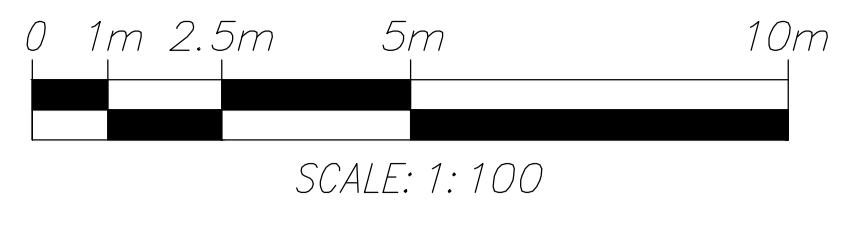
NOTE: A SINGLE ASPECT HABITABLE ROOM IS A HABITABLE ROOM
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PLANNING PERMIT ISSUE

Sheet No: 17 OF 17 Construction Issue Date: 25/03/2026

Project Description: Proposed Unit Development	Drawn By: T.Cornish	 stephencornish DRAFTING AND DESIGN REGISTRATION NO. DP-AD 264 Phone: (03) 5334 1545 Fax: (03) 5334 3914 Email: sc_draftingdesign@hotmail.com
Project Address: 4 Neill Street, Beaufort	Drawing: Floor Plan	
Client Name: [REDACTED]	Scale: 1 : 100	
Date: 16/08/2023	Sheet Size: A3	



EXISTING VEGETATION ASSESSMENT

Tree No.	Botanical Name	Common Name	Area	Retain / Remove
1	<i>Rosa sp.</i>	Rose	Backyard	Remove
2	<i>Abelia sp.</i>	Abelia	Backyard	Remove
3	<i>Agapanthus sp.</i>	Agapanthus	Backyard	Remove
4	<i>Rosa sp.</i>	Climbing Rose	Backyard	Remove
5	<i>Ulmus sp.</i>	Elm	Western fence	Retain
6	<i>Syringia sp.</i>	Lilac	Western fence	Retain
7	<i>Agapanthus sp. / mixed flowers and weeds</i>		Mixed Garden Bed 1	Remove
8	<i>Dietes sp. / Cordyline sp. / Gladioli sp.</i>		Mixed Garden Bed 2	Remove
9	<i>Rosa sp.</i>	Rose	Rose Garden Bed	Partially remove
10	<i>Privit sp.</i>	Privit	Front yard	Retain
11	<i>Hedera sp.</i>	Climbing Ivy	Ex. Carport	Remove
12	<i>Wysteria sp.</i>	Wysteria vine	Climbing on eastern neighbour's fence	Remove
13	<i>Prunus sp.</i>	Cherry	Eastern fence	Retain
14	<i>Rosa sp.</i>	Rose	Eastern fence	Retain
15	<i>Coprosma sp.</i>	Coprosma	Eastern fence	Retain
16	<i>Cirtus sp.</i>	Lemon	Eastern fence	Remove
17	<i>Deciduous shrub</i>		Eastern fence	Remove
18	<i>Pyrus sp.</i>	Pear	Eastern fence	Remove
19	<i>Berberis sp.</i>	Barberry	Eastern fence	Remove
20	<i>Malus sp.</i>	Crab apple	Eastern fence	Remove
21	<i>Eucalypt sp.</i>	Dead eucalypt	Eastern fence	Remove
22	<i>Fraxinus sp.</i>	Ash	Outside boundary	Retain
23	<i>Teucrium fruticans / Arum sp. / Viola sp. / Privit sp. / Hedera sp. / Gladioli sp.</i>		Mixed Garden Bed 3	Remove

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REVISIONS
Rev A 17.03.26 - Updated as per Clause 55 B-7 requirement

LEGEND

- Title boundary
- Existing dwelling
- Trees / shrub to be retained
- Trees / shrub to be removed / relocated
- Existing garden bed / hedge
- Existing climbing plants
- Climbers to be removed
- Garden bed / hedge to be removed
- Existing fence
- Item to be removed
- Existing concrete surface



Project Name & Address:
**4 Neill Street
BEAUFORT
2 UNIT DEVELOPMENT**

Drawing Title:
**Existing Vegetation
Assessment**

Client:
Stephen Cornish

Date: March 17, 2026
Scale: 1:100 @ A1 Sheet Size
Drawn: YL / LG
Checked: DH
Planning Ref: PA23008
Drawing No
2338 - LP01 Rev A

THOMSON HAY
LANDSCAPE ARCHITECTS



130 Howards Rd, Wattle Flat VIC 3352
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BASE INFORMATION DERIVED FROM THE FOLLOWING SOURCES:
- Architectural plans and survey (November 3, 2022)
- Aerial Photo (Nearmap - November 18, 2022)
- Site inspections (June 28, 2023)
Due to possible distortions associated with the aerial photograph, the location of existing and proposed features are approximate only and should be verified on site prior to commencement of works.
All dimensions / areas shown are approximate only and should be confirmed on site.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE (HXW)	CONTAINER	QTY
TREES TYPE A						
	AS	Acer negundo 'Sensation'	Sensation Box Elder	9 x 7m	45lt, 1.5m high, 30mm cal.	1 (Mature canopy cover = 38.5m² / tree, required deep soil area = 36m² / tree)
	AC	Acer platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	7 x 4m	45lt, 1.5m high, 30mm cal.	4 (Mature canopy cover = 12.6m² / tree, required deep soil area = 12m² / tree)
	CF	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	5 x 5m	45lt, 1.5m high, 30mm cal.	2 (Mature canopy cover = 19.7m² / tree, required deep soil area = 16m² / tree)
	LP	Lagerstroemia indica 'Pink'	Crepe Myrtle	8 x 5m	45lt, 1.5m high, 30mm cal.	1 (Mature canopy cover = 19.7m² / tree, required deep soil area = 16m² / tree)
SHRUBS						
	DT	Dianella tasmanica 'TR20'	Tasred™ Flax Lily	0.4 x 0.6m	140mm Pot	17
	LM	Liriope muscari	Lilyturf	0.4 x 0.4	140mm Pot	101
	LC	Loropetalum chinense Purple Pixie	Chinese Witch Hazel ctv.	0.4 X 1.5m	140mm Pot	9
	RC	Rhaphiolepis indica 'RAPH01'	Cosmic White™ Indian Hawthorn	2 x 1.5m	140mm Pot	2
HEDGES						
	LN	Laurus nobilis	Sweet Bay	Hedge	140mm Pot	1
	SA	Syzygium australe 'Straight and Narrow'	Narrow Lilly Pilly	Hedge	140mm Pot	7
SHRUB AREAS						
	CA	Carex appressa	Tall Sedge	1 x 1m	Tubestock 25% @ 250mm	37
	FN	Ficinia nodosa	Knobby Club Rush	1 x 2m	Tubestock 25% @ 250mm	37
	LL	Lomandra longifolia	Mat Rush	1 x 1m	Tubestock 25% @ 250mm	37
	PL	Poa labillardieri	Tussock Grass	1 x 0.5m	Tubestock 25% @ 250mm	37
RAINGARDEN MIX						9 m²

LEGEND

- Title boundary
- Existing dwelling
- Proposed dwelling - refer to architectural plans
- Trees / shrub to be retained
- Existing garden bed / hedge
- Existing garden bed / hedge
- Proposed fence (by others)
- Proposed garden bed
- Existing lawn to be protected and retained
- Proposed lawn
- Raingarden with gravel mulch - refer to architectural plans
- Proposed concrete surface - refer to architectural plans
- Existing concrete path
- Proposed concrete surface to match architectural concrete
- Proposed granitic sand surface
- Proposed trees
- Proposed shrubs
- Proposed stone steppers or pavers in lawn surface
- Proposed steel edge
- Proposed letterbox (by others)
- Area of deep soil

Tree Canopy Cover Note:

- Site area: 995m²
- Required tree canopy cover area (10% of site area) = 99.5m²
- Proposed tree canopy cover area = approx. 148m²
- No retained vegetation is calculated within the tree canopy coverage area.
- Area of canopy overlap has been calculated only once (where applicable)

Note: Tree canopy coverage rate calculated based on projected mature canopy size and as per Table B of Standard B2-7 Tree Canopy.

Permeable Surface Note:

- Site area: 995m²
- Required permeable surface area (20% of site area) = 199m²
- Proposed permeable surface area = approx. 408m²

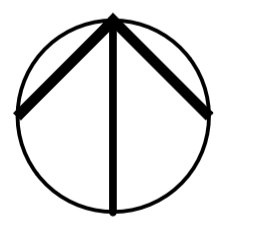
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- Site inspections (June 28, 2023)

Due to possible distortions associated with the aerial photograph, the location of existing and proposed features are approximate only and should be verified on site prior to commencement of works. All dimensions / areas shown are approximate only and should be confirmed on site.

GENERAL NOTES

1. This drawing is to be read in conjunction with other drawings of the set.
2. This drawing is not to be scaled
3. All materials constructions etc. are to comply with all relevant codes, by-laws, building code of australia etc.
4. No variation is to be made to this drawing without the prior approval of the proprietor and/or landscape architect.
5. Contractor to note that the required location and dimensions of works may not correspond exactly with existing conditions.
6. Contractor to verify all dimensions and levels prior to the commencement of works.
7. Contractor to verify the locations of all services prior to the commencement of works.
9. Stormwater/agricultural drainage to be constructed in an approved manner and connected to the existing system in a manner approved by the relevant authority.
10. All landscape areas to have minimum crossfalls to allow drainage towards pits, gutters or nominated drainage points in accordance with architects specification.
11. New surfaces are to match existing where applicable.
12. Foundations, excavations, reinforcement placement etc. to be inspected and approved by the building surveyor prior to any concrete placement.



Project Name & Address:
4 Neill Street
BEAUFORT
2 UNIT DEVELOPMENT

Drawing Title:
Landscape Plan

Client:
Stephen Cornish

Date: March 17, 2026
Scale: 1:100 @ A1 Sheet Size
Drawn: YL / LG
Checked: GC
Planning Ref: PA23008
Drawing No: 2338 - LP02 Rev A

THOMSON HAY
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LANDSCAPE SPECIFICATION NOTES

LEVELS / DRAINAGE / SET-OUT

No detailed levels information has been shown on this plan. Ground levels within all landscape areas should freely drain away from the building towards paths, pits, kerbs etc. in accordance with all regulations. The Contractor is to ensure that the site is free draining.

All dimensions are to be verified on site prior to construction commencing. Any discrepancies are to be immediately reported to the Superintendent for further instruction. Pit locations shown are nominal only with final locations confirmed on site - subject to levels / falls.

The Contractor shall satisfy themselves by such means as they shall consider proper as to the location of all structures or services or other property that may be encountered in the performance of the Contract.

The Contractor shall be responsible for the location and protection of all existing services, structures and retained plants and in the event of damage thereto the Contractor shall provide all things necessary to affect repair and pay in full the associated costs where such service or structure is shown on the drawings, or is evident on site, or has been pointed out.

Prior to commencement of landscape works the Contractor is to confirm the location of all underground services in the vicinity of the works.

HERBICIDE APPLICATION

At least two weeks prior to the commencement of landscape works spray all grass and undesirable plants within the landscape works area with an approved systemic herbicide (e.g active ingredient glyphosate). Herbicide shall be applied in accordance with the manufacturers instructions.

Only herbicides and insecticides registered for use in Victoria for the specific purpose may be used.

PREPARATION

Remove all weed growth from existing and proposed garden beds and lawn areas. Ensure all foliage, fruit and root matter is removed from site. Cultivate all lawn areas to min. 150mm depth. Where garden beds are proposed, allow to excavate bed areas to 300mm depth, remove all road sub base material, building rubble and other debris - subject to underground services location. Ensure base of garden beds consists of material suitable for strong plant growth. If unsuitable material exists allow to excavate this material and backfill with topsoil as specified. Incorporate gypsum (by cultivation) at the rate of 2,000 grams per sq. metre to prepared soil.

PLANTING BEDS

For garden beds provide 300mm min. depth of planting soil. The fresh planting soil is to be blended with existing soil at a ratio of 60:40 (fresh : existing soil). The planting soil shall have the following characteristics (or similar approved):

- 50% sandy loam (free of weeds and clay)
- 20% aged saw dust
- 20% composted pine bark fines
- 10% 1/4 minus scoria aggregate

pH 5.5 - 6.5

EXISTING CONSTRUCTED ELEMENTS

The landscape contractor is to ensure all necessary procedures are implemented to protect constructed elements including concrete kerbs, carpark surfaces, building facades, signs etc. Damage to existing features to be repaired at the landscape contractors expense.

TRIMMING AND FINISHED LEVELS

The Contractor shall adjust and trim sub soil levels so that sub soil is placed / graded to the nominated levels and gradients as specified. The specified depth of topsoil and/or mulch shall then be added and tapered so that the finished mulch and/or topsoil levels meets flush with the adjacent finished surface levels.

PLANTS / FERTILISING

All plants are to be true to species, healthy and free from pests, disease and stress.

Fertile advanced trees (250mm dia. + pots) with 100 grams of 'Osmocote' slow release fertiliser. For plants in tubes-250mm dia. pots fertilise with 20gms of 'Osmocote'. Staking as required for advanced trees only (refer planting detail).

PLANT STOCK

When specified plants are not available, substitute plants may only be used following approval from the Landscape Architect and Pyrenees Shire Council.

Plants are to be purchased in the minimum nominated pot size, unless approved by the Superintendent to vary the pot size from that specified.

Plants shall show healthy growth, be undamaged, free of disease, have a size in proportion to their pot size and species, not be pot bound and shall generally have roots penetrating to the edge of the pot.

The contractor shall check the condition of plants before taking delivery. All plants accepted by the contractor shall be healthy, vigorous, well established and have normal habits and proportions of growth typical of their species. Plants shall be free from insects, eggs, larvae, disease, weeds and other defects. All plants shall be suitably hardened off in the nursery prior to delivery to the site.

All stock shall be labeled with the correct botanical name and shall be checked by the contractor before acceptance on the site.

PLANTING SCOPE

Planting is to be undertaken to the various areas nominated in the Landscape Plans and in accordance with this specification. The scope of planting works is to include:

- Trees (advanced stock)
- Shrubs, bladed plants and ground covers (140 mm containers)
- Organic and / or gravel mulching / mulch mat installation
- Maintenance period as nominated in this specification.

PLANTING PROGRAM / TIMING

The contractor shall prepare a planting program to plant all planting zones as indicated on the Landscape Drawings and this Specification. The planting program should incorporate the pre-planting ground preparation program.

All planting supply is to be programmed to be undertaken during optimum planting seasons to maximise the optimum plant establishment period prior to the commencement of the summer season.

The contractor shall submit programs for the following tasks at the commencement of the contract:

- a pre-planting ground preparation program
- a weed control program
- a planting program for each of the nominated zones
- a post planting maintenance program.

Where the construction / development program permits, the planting should ideally be undertaken during early May to late September. This timing should maximise plant establishment before summer and minimise watering requirements. Where the construction / development schedule does not allow for planting within the optimum months the contractor should allow within the quote for additional watering to ensure good growth and survival for the first 6 months after planting.

PLANTING SET-OUT

All planting to be undertaken by experienced contractors with a detailed knowledge of the species, preferred ground / soil conditions, growth habits etc. for the indigenous flora of the Beaufort district.

The Contractor shall set out the location & shape of planting beds and / or the location of individual plants in accordance with the Drawings by:

- referring to drawing dimensions
- by reference to existing features as shown on the drawings
- by complying with plant number and density requirements as shown in the plant schedules / drawings.
- Ongoing on-site liaison with the Superintendent will be required to ensure that the planting intent is achieved.
- The Contractor shall arrange for the Superintendent to be on site for plant

set-out and sign-off on the set-out prior to planting commencing.

WATERING

For advanced trees apply min. 30 litres of water immediately following planting and for 140mm diameter pots apply min. 10 litres of water immediately following planting.

MULCH MAT

Following preparation of the topsoil and prior to spreading stone or wood mulch, install a single layer of MaxJute 'Thick' (or similar approved) mulch matting (700gms/m²) to all garden beds / gravel zones. Maxjute 'Thick' mulch mat available from SureGro Treemax - telephone 1800 643 384.

ORGANIC MULCH

Spread an approved organic mulch - i.e. composted pine peat mulch or Euchi mulch (maximum particle size 30mm) at an even depth of 75mm over all planting areas. Ensure top of mulch finishes 20mm below adjacent paved surfaces.

Minimum 75mm mulch depth to be maintained at all times within garden beds until full plant establishment.

GRAVEL SURFACE PAVEMENT

Where indicated on the drawings install 50mm compacted depth Limestone Toppings over 75mm compacted depth of 20mm NDFCR. Ensure top of gravel pavement finishes flush with adjoining paved surfaces.

STEEL GARDEN EDGING

Contractor to supply and install steel garden edging where nominated on the drawings. Steel garden edging to be supplied by Straightcurve - distributed by Stratagreen. Telephone: 1300 866 367 (or from local stockist). Edge details:

Straightcurve garden edging: 100mm 'Hardline' with galvanised steel finish (code: HL 100GS).

100mm 'Flexline' with galvanised steel finish (code: FL100GS)

Refer to details for installation instructions.

ROCK PAVERS

WATERING & AFTERCARE

Watering and aftercare following planting and for the contract maintenance period shall generally be as described below.

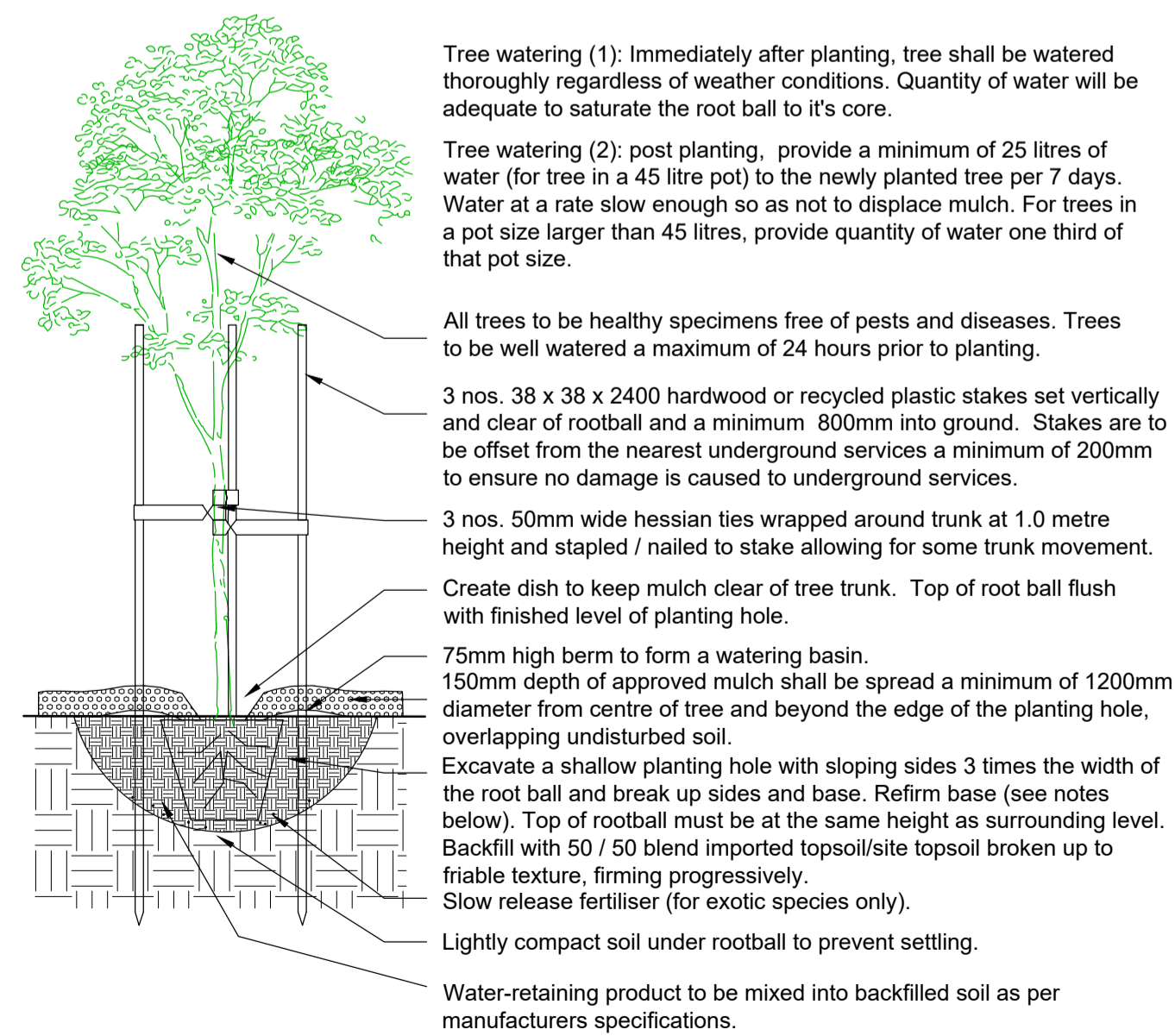
- The site should be regularly monitored for moisture stress and all plants watered as required to ensure strong, healthy seedling growth is maintained throughout the Contract period.
- Plants should be regularly checked for signs of insect attack and disease and appropriate actions taken to control the disease or infestation.
- Replace dead plants at the earliest opportunity (depending upon seasonal conditions), with the same species / provenance.
- Ensure the site is regularly monitored and managed to control and eradicate any weeds that germinate after planting for the entire period of the contract.
- All planting and grassed areas shall be maintained in a 100% noxious weed free state and in a minimum 95% weed free state.

MAINTENANCE PERIOD

The Maintenance Period shall commence from the Date of Practical Completion for 18 months as per Permit PA23007 Condition 5).

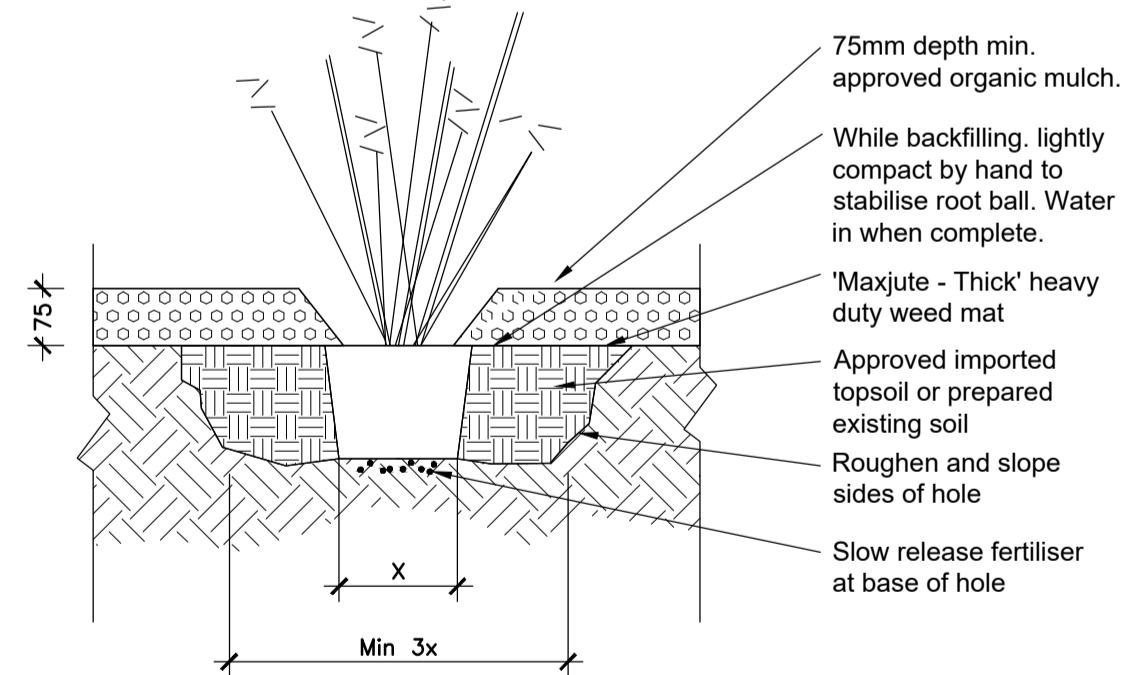
Maintenance of the landscape works shall include:

- i replanting / replacement of dead plants
- ii weeding / weed control
- iii watering of all landscape areas as required for plant establishment (including garden beds / lawn areas)
- iv mowing / slashing

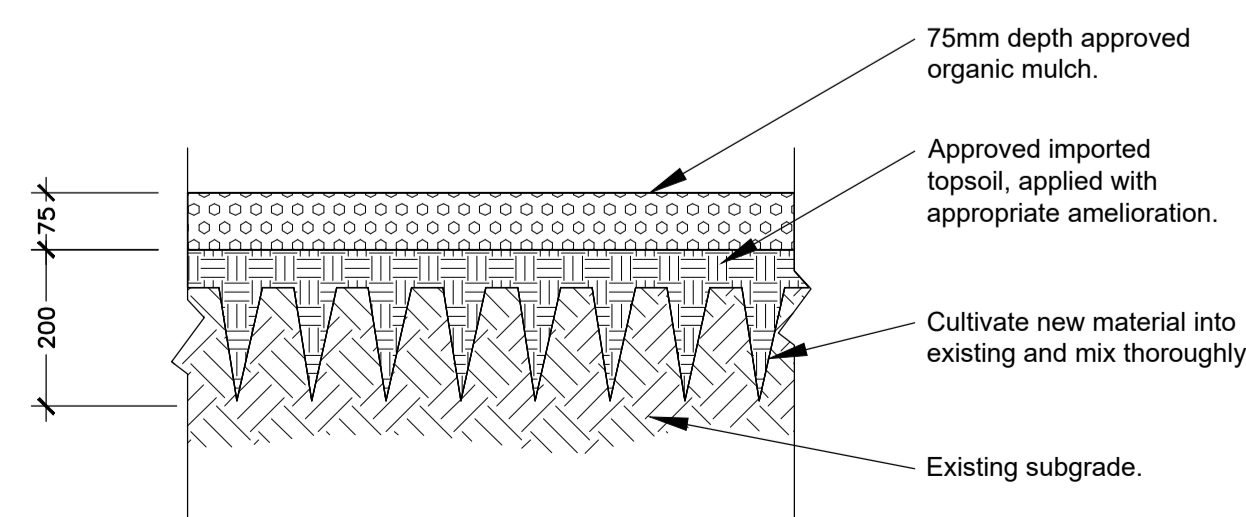


TREE PLANTING DETAIL (NOT TO SCALE)

Note: It is the responsibility of the contractor to confirm the location of all underground services prior to commencement of any excavation or staking works.

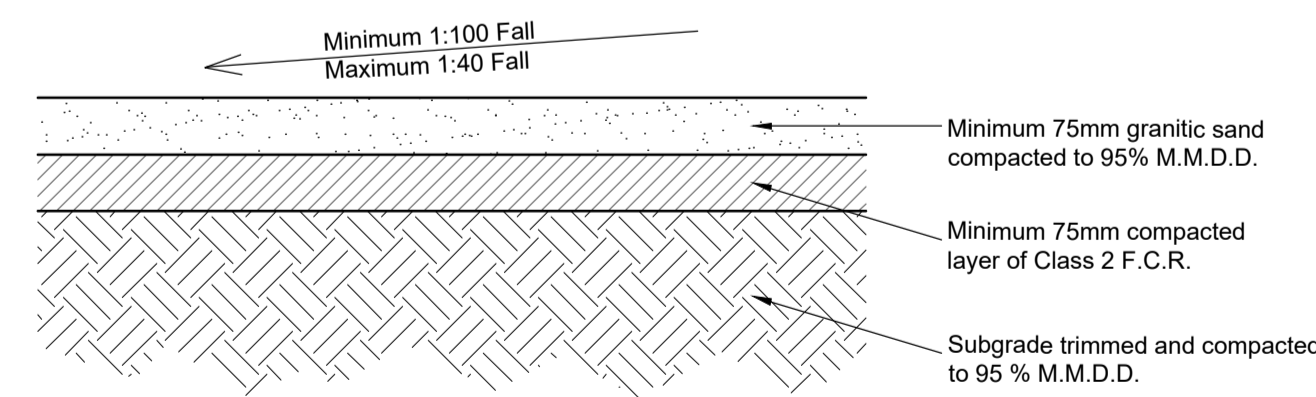


SHRUB PLANTING AND MULCHING Scale 1:10

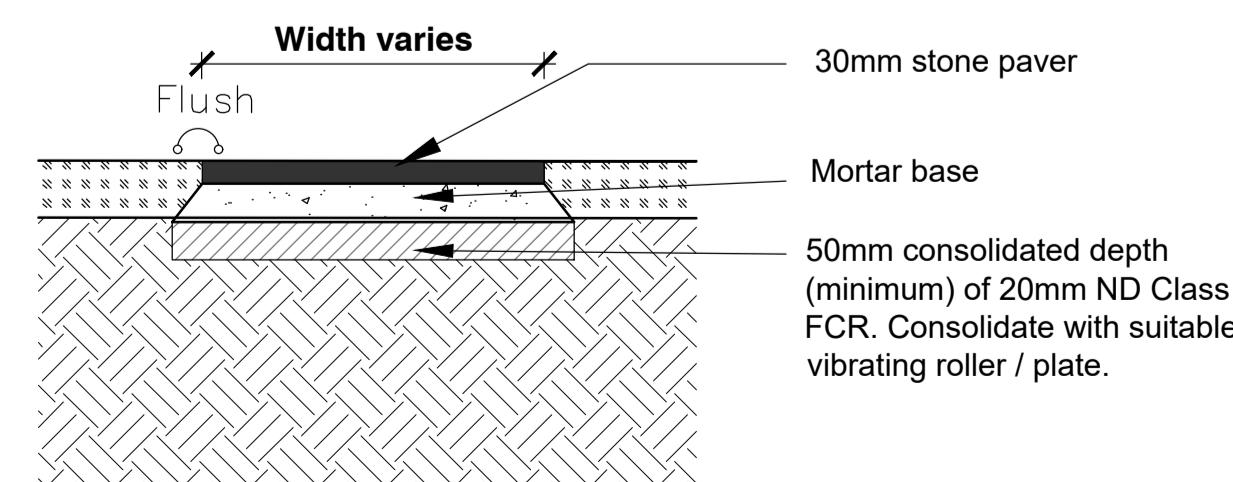


GARDEN BED PREPARATION Typical Section - Not to Scale

Note:
1. Contractor to ensure granitic sand surface is graded evenly and drains away from adjoining paths.



LIMESTONE TOPPINGS Scale 1:10



ROCK 'STEPPING STONE' PAVER DETAIL Scale 1:10 @ A1

- v pest and disease control
- vi re-mulching to maintain specified mulch depths
- vii pruning
- viii maintaining the site in a neat and tidy condition
- ix removal of tree stakes (where applicable)
- x repairs to erosion affected areas (as required)

Replacement Materials

All replacement materials used to be in accordance with the requirements of this specification, the drawings and plant schedules.

Replanting / Resowing

All plants (including any replacement plants) are required to clearly indicate healthy growth at the completion of the maintenance period by demonstrating growth through consecutive growing seasons.

Plants which die or do not show satisfactory growth within the maintenance period shall be replaced and resown / replanted by the Contractor at the Contractor's expense. The Contractor shall program and allow for the supply and propagation of plants whether by seed or cutting as required for any replanting during the current or next available planting season.

Weed Control

All planting and grassed areas shall be maintained to a 98% weed free state.

Watering

All plants to be watered as necessary to ensure continued healthy and vigorous growth throughout the maintenance period.

Mowing / Slashing

Grassed areas shall be mown when the height of the grass exceeds 100mm. Areas which have been cut shall have a minimum grass height of 50mm. All clippings to be removed from site.

Pest and Disease Control

All plants are to be maintained free of insect infestation and plant disease.

Re-mulching

Areas mulched with wood mulch to be maintained at 75mm min. consolidated depth and 100mm maximum depth.

Pruning

The Contractor shall prune trees and shrubs to remove damaged limbs / branches etc. Tree branches likely to form a dominant "U" or "V" shaped crotch shall be removed.

Maintaining the Site in a Neat and Tidy Condition

The Contractor shall keep the site in a neat and tidy condition.

Removal of Tree Stakes (where installed)

Tree stakes shall be removed at the Contractor's discretion (where applicable).

GENERAL NOTES

1.0 The following notes relate to the landscape development works 38 High Street, Beaufort and all associated plans, construction details and site plans / notes and specifications (Dwg. No's 2337 LP01-LP03) have been prepared by the Landscape Architects.

2.0 The Contractor shall ensure that the extent of physical disturbance within the site is contained to the works area as defined on the Drawings. Modifications to vegetation, slopes, hydrology etc. should only be made where directed by the drawings, specifications or site communications.

3.0 The Contractor shall be responsible for the repair of damage to existing roads, tracks or other structures and vegetation, caused by their own works, and shall carry out remedial works as required at the conclusion of the building works or as directed.

4.0 Where separate works contracts meet, the Contractor should allow for an interface with the adjoining works to enable efficient carrying out of these works.

5.0 Should dangerous foundation conditions or unstable soil / rock conditions become apparent during the carrying out of works, or alternatively the presence of ground conditions not predicted by soil investigations, then the Contractor shall notify the Superintendent and await further instruction prior to proceeding with works.

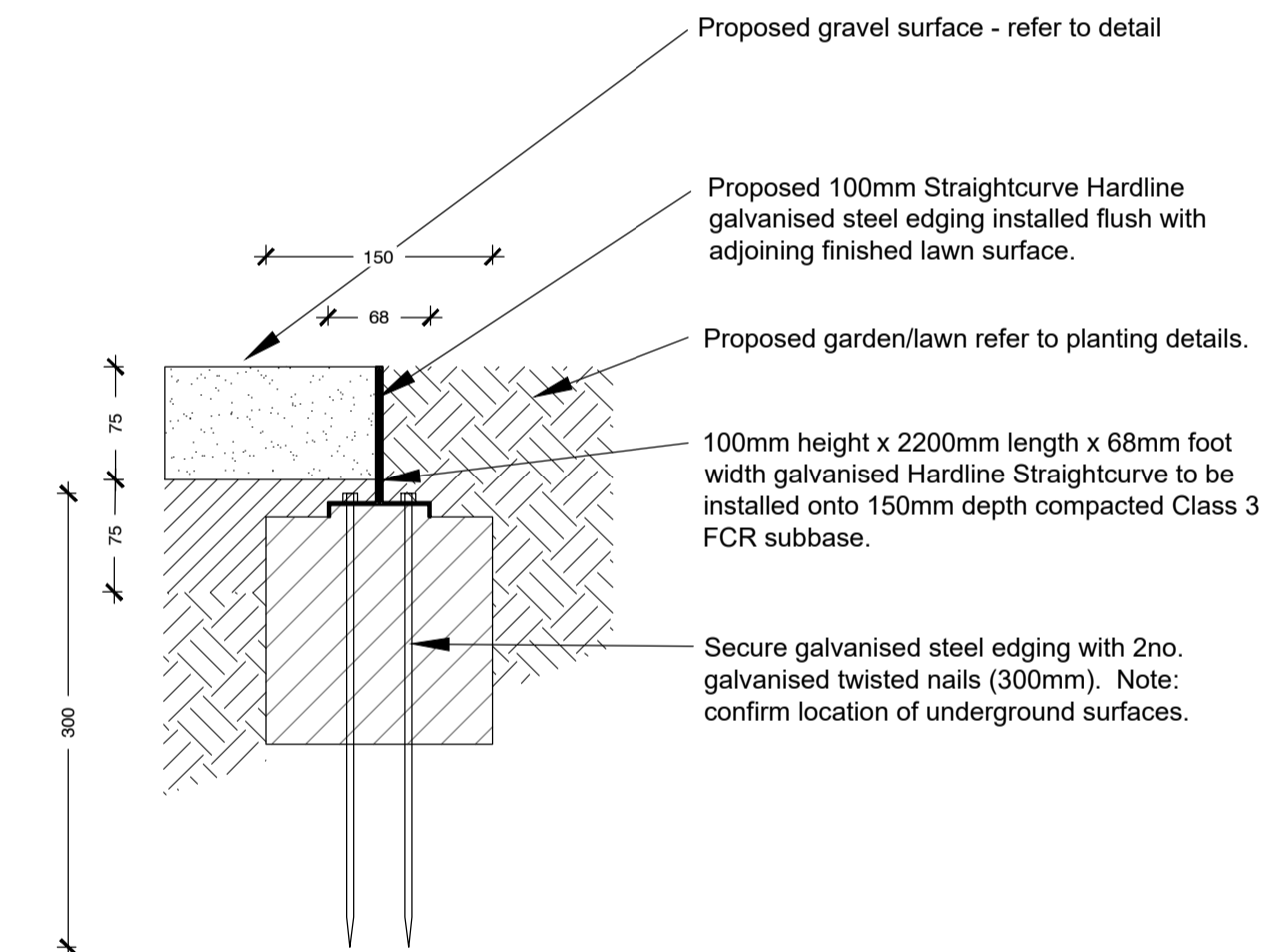
6.0 All works shall be carried out by suitably experienced trades persons using approved materials and methods. The site shall be maintained in a clean and tidy condition during the entire works contract and at the completion of works.

7.0 All waste generated from the site during the course of the contract (including general rubbish, excess soil, rock etc.) is the responsibility of the contractor and is to be removed from the site and deposited in approved location(s).

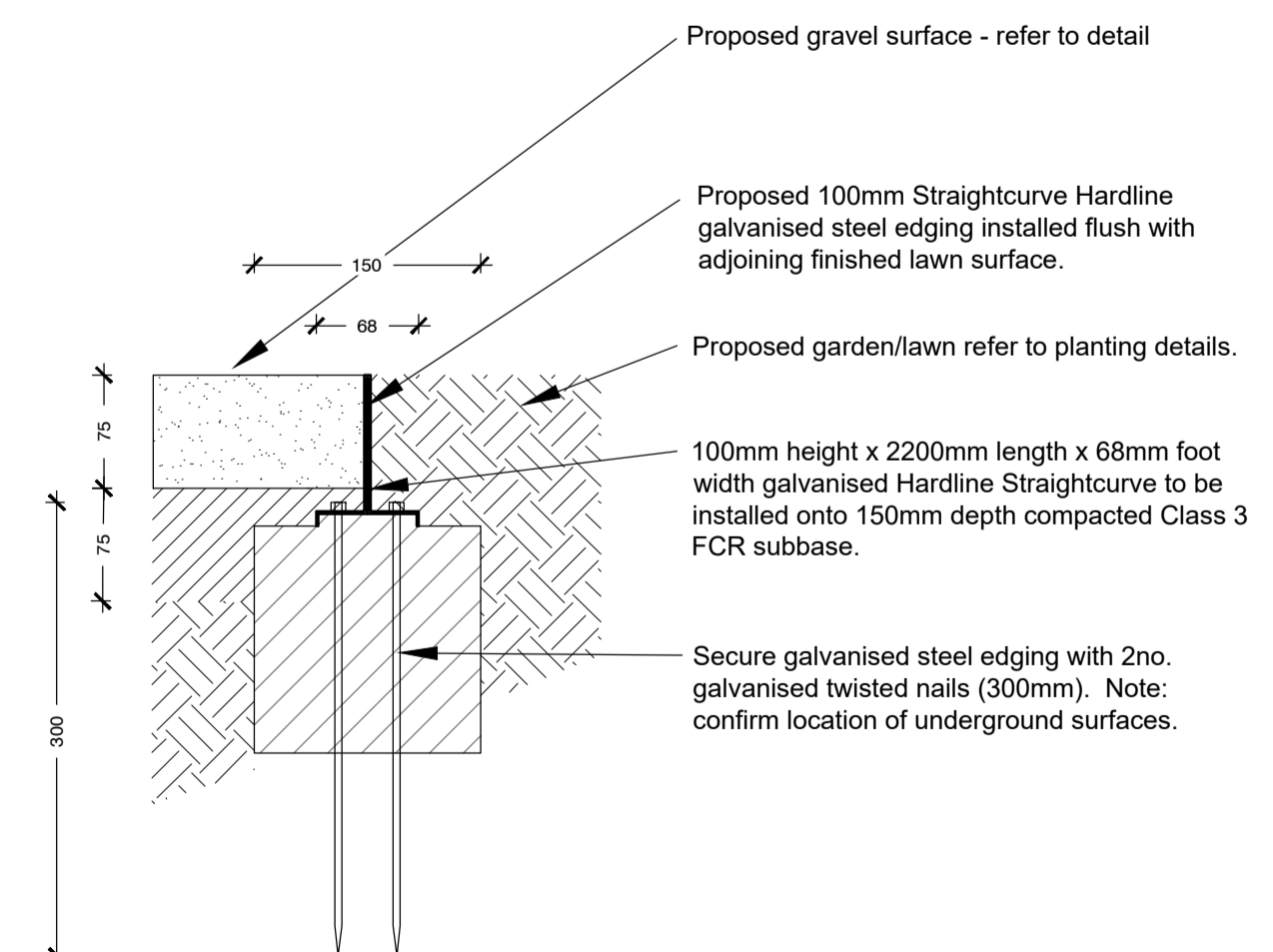
8.0 Works shall not be carried out during periods of dangerous climatic conditions, including periods of total fire ban, intense heat, flooding, or during other periods as directed by the Superintendent.

9.0 Public access is to be restricted to this area during the construction works. The Contractor shall allow to maintain the site in a safe condition throughout the period of the contract. Suitable safety barriers and/or signs should be erected where required during the course of the contract to ensure visitors to the property are protected from works / machinery with public access prohibited from all works areas. Adequate public safety signage / standards are to be maintained throughout the site at all times.

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100MM STRAIGHTCURVE HARDLINE GALVANISED STEEL EDGING DETAIL Scale 1:5 @A1



100MM STRAIGHTCURVE HARDLINE GALVANISED STEEL EDGING DETAIL Scale 1:5 @A1



Project Name & Address:
4 Neill Street
BEAUFORT
2 UNIT DEVELOPMENT

Drawing Title:
Landscape Specification
and Details

Client:
Stephen Cornish

Date: March 17, 2026
Scale: As shown @ A1 Sheet Size
Drawn: YL / LG
Checked: GC
Planning Ref: PA23008
Drawing No
2338 - LP03 Rev A

THOMSON HAY
LANDSCAPE ARCHITECTS



iPlanning



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Pyrenees Planning Scheme Planning Report for Development of 2 additional Dwellings, 3 Lot Subdivision and Create an Access to a Transport Road Zone

Address: 4 Neill Street, Beaufort
Reference: P-01057

Prepared for:



Prepared by:

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Quality Information

Document	Planning Report
Reference No.	P-01057
Date	April 2026
Prepared by	James Iles

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1. Introduction

iPlanning Services Pty. Ltd. has been engaged by [REDACTED] submit a Planning Permit Application on his behalf for the development of two additional dwellings, a three lot subdivision and a new access to a Transport Road Zone located at 4 Neill Street, Beaufort.

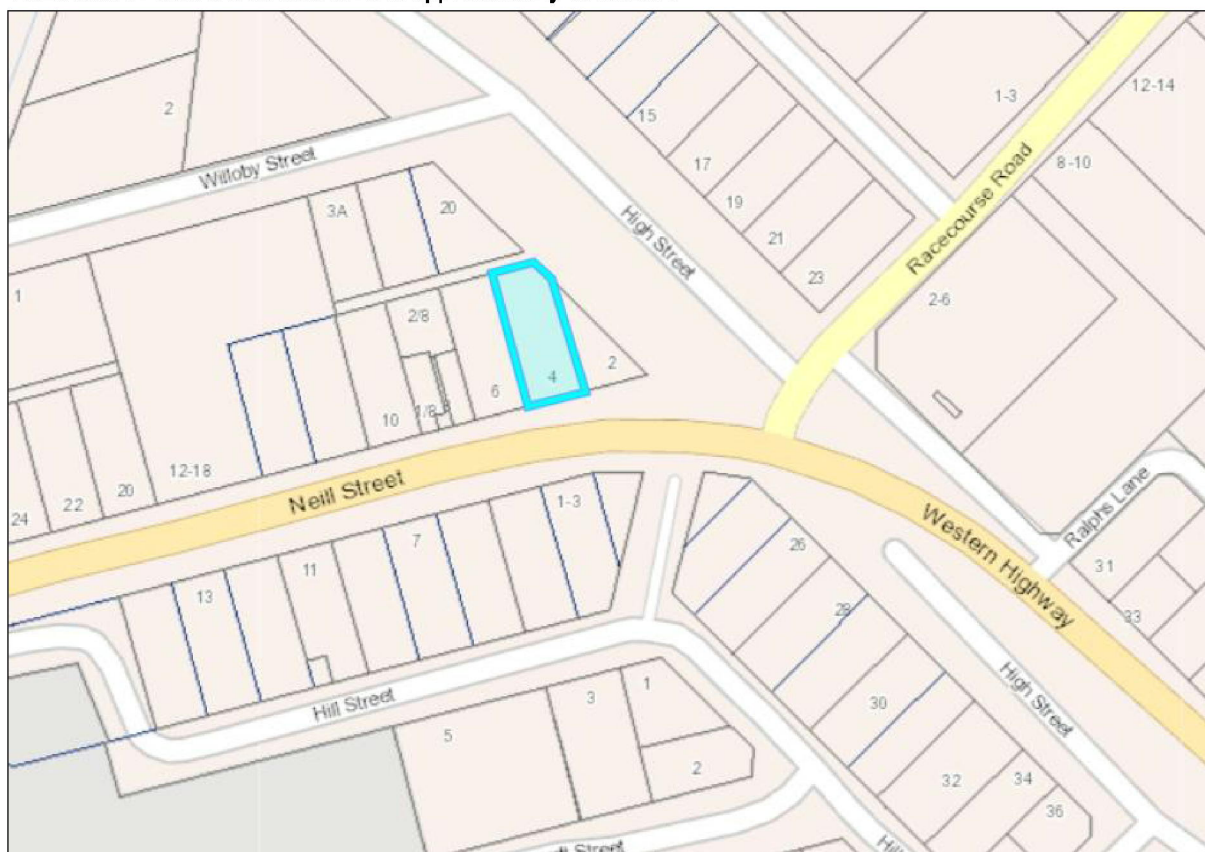
2. Permit Trigger/s

A Planning Permit is required for the above proposal under the following provisions of the Planning Scheme:

- | | | |
|-----------------------------------|-----------------------|--------------------------------|
| ▪ General Residential Zone | Clause 32.08-3 | Subdivision of land |
| | Clause 32.08-6 | Two or more dwellings on a lot |
| ▪ Transport Road Zone | Clause 52.29-2 | Access to a main road |
| ▪ Particular Provisions | Clause 55 | Two or more dwellings on a lot |

3. Subject Site and Site Context

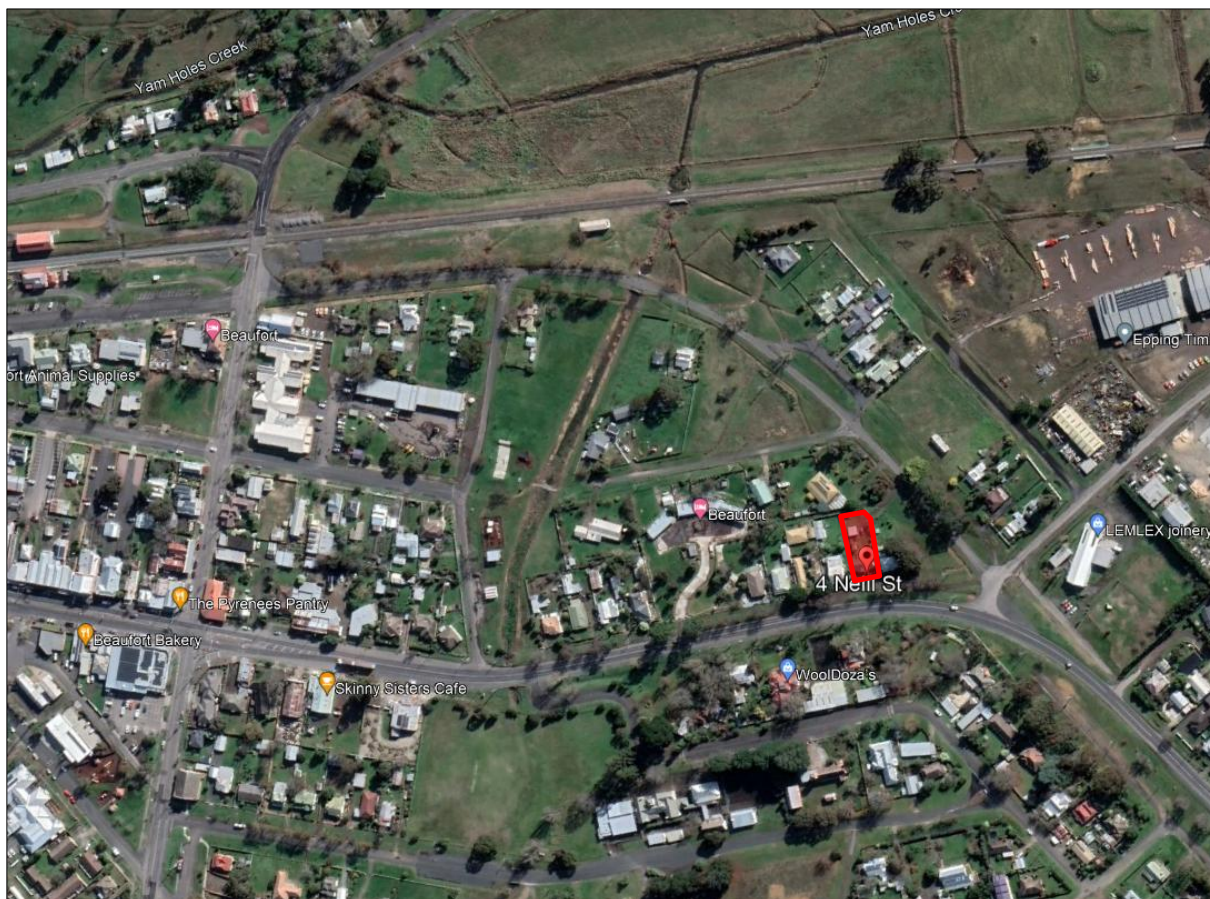
The subject site is located on the north side of Neill Street. The site consists of one Title and it is described as Vol. 08287 Fol. 456 Lot on Title Plan No. 273064J. The site is regular in shape with a frontage of approximately 20.12 metres to Neill Street, a frontage of approximately 8.65 metres to High Street, a frontage of approximately 15.69 to a private laneway, an eastern boundary of approximately 42.85 metres, and a western boundary of approximately 50.29 metres with a total land area of approximately 995.32m².



The site currently contains an existing dwelling and outbuildings located at the rear of the site. An access to the site is via private laneway at the rear which has access from High Street. There is some vegetation located along the eastern boundary. The land has a fall from the south to the north of approximately 5 metres along the western boundary.



The surrounding development includes residential development to the north, east and west. There is a large property to the south on the opposite of Neill Street.



Below is a table describing the character of the immediate area surrounding the site:

Table 1 – Neighbourhood Description:

Street Name and No.	Era - Style	Height	External materials	Roof materials	Roof pitch (°)	Fence Type	Fence height (mm)	Front garden style	Existing lot size (m ²)
Neill Street									
2	1940s	s/s	brick	iron	30	nil	nil	exotic	512
4	1950s	s/s	brick	iron	25	wire	400	exotic	1643
6	1930s	s/s	weatherboard	iron	27.5	picket	1500	exotic	1010
1/8	1990s	s/s	brick	iron	22.5	picket	1000	exotic	283
10	1910s	s/s	weatherboard	iron	27.5	wire	1000	exotic	986

The existing neighbourhood character reflects single storey dwellings that have been built between 1910s and 1950s. There is a mixture of weatherboard and brick dwellings with iron roofs. There is front fencing which comprises timber and wide ranging in height from 600mm to 1.5 metres. There is no common front setbacks of the existing properties on both sides of the street with some setbacks at 4.0 metres and other at greater than 10 metres.

The site is close to shops, public transport, schools and recreational facilities. The site is located approximately 700 metres to the east of the main shopping centre of Beaufort. The main shopping centre has an IGA supermarket, speciality shops, newsagency, chemist and a large petrol station.

The site is located close to the Beaufort Secondary College which is located approximately 1.7 kilometres to the southwest of the site.

The site is also located within easy walking distance of a number of active and passive recreational facilities. Beaufort Reserve is located approximately 1.3 kilometres to the southwest of the site as well as the Goldfields Recreation Reserve. The Beaufort Golf Course and Bowling Club are located approximately 1.3 kilometres to the southwest of the site. The Beaufort outdoor swimming pool is located approximately 400 metres to the west of the site.

The subject site is located close to bus stops on the Western Highway. The Beaufort Railway Station is also located in close proximity which is located approximately 1.0 kilometre to the northwest of the site.

The subject site and the surrounding land is located within the General Residential Zone. There are no Overlays affecting the site or the surrounding areas.

Neill Street is a sealed bitumen road with no concrete kerb and channel on either side. There is no footpath on either side. There are established street trees on both sides. There is an all-weather gravel surface road located in front of the properties on the north side. Neill Street is controlled and maintained by the Department of Transport.

High Street is a sealed bitumen road with open drains on both sides and there are no footpaths on either side. High Street is controlled and maintained by the Pyrenees Shire Council.

4. Proposal

The proposal is to construct two dwellings and a three lot subdivision on the site and the following is a breakdown of the proposal:

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Existing Dwelling:

The existing dwelling will be converted into a two (2) bedroom dwelling and existing sheds at the rear of the site are to be demolished. A single car park is to be provided at the front of the dwelling. A new driveway will provide access from the service road to the site. The secluded private open space is located on the northern side at the rear and a total of 47m² is provided. No other works are to occur on the existing dwelling.

Proposed Dwellings:

The proposed dwellings will comprise three (3) bedrooms, ensuite to bedroom 1, separate bathroom, separate toilet, kitchen, living room, meals area, and an attached single car garage with a car space in front of the garage. The floor area of Dwelling 1 is approximately 155m², and Dwelling 2 has a floor area of approximately 142m² which includes the garage and verandah.

The external building material of each dwelling is to be face brickwork with a colourbond roof that has a pitch of 10 and 20 degrees. The window and door frames are aluminium.

The height of the dwellings are 2.7 metres from floor to ceiling and the overall height is approximately 4.6 metres. The dwellings will sit on individual pads at varying levels that are designed up the site. The dwellings have been staggered and the garage associated Dwelling 2 has been located behind the front façade. Appropriate articulation to the front of each dwelling is provided with a verandah along the front portion of Dwelling 2 and a smaller verandah for Dwelling 1. Also, a highlight window in Bedroom 1 of Dwelling 1 and a window in the garage of Dwelling 1 will provide further articulation when viewing the dwelling from High Street.

Dwelling 2 will be setback 4.3 metres from the laneway frontage and Dwelling 1 will be setback 5.0 metres from the rear laneway. The rear setbacks are 5.0 metres and the secluded private open space areas are approximately 50m² and 63m² respectively. The secluded private open space areas are located on the southern side of the site.

Each dwelling will comprise a clothesline and a storage shed on the rear yard. A second car space will be located in the front of the garage door of each dwelling. Two new driveways will be constructed from the laneway to provide vehicular access to each dwelling.

Proposed Subdivision:

The following is a breakdown of each lot:

- Lot 1 will have an area of approximately 270m² with a 5.6 metre frontage to the laneway, a frontage of approximately 8.6 metres to High Street, an eastern boundary of approximately 21.22 metres, a southern boundary of approximately 10.0 metres and a western boundary of approximately 28.66 metres.
- Lot 2 will have an area of approximately 290m² with a frontage of approximately 10.11 metres to the laneway, an eastern and western boundary of approximately 28.66 metres and a southern boundary of approximately 10.11 metres.
- Lot 3 will have an area of approximately 435m² with a 20.12 metre frontage to Neill Street, a northern boundary of approximately 21.12 metres, an eastern and western boundary of approximately 21.83 metres. The existing dwelling will be contained on this lot.

Services are to be provided to each lot.

5. Planning Controls

5.1 Zoning

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The subject site is situated within the **General Residential Zone (GRZ1)**.



Clause 32.08 of the Planning Scheme refers to the General Residential Zone and the purpose of the Zone is:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To encourage development that respects the neighbourhood character of the area.
- To implement neighbourhood character policy and adopted neighbourhood character guidelines.
- To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Response:

The proposal is consistent with the purpose of the General Residential Zone. It will enable development for residential purposes at a range of densities and will contribute to a choice of dwelling types in the area, to meet the needs of a variety of households. The new dwellings will be constructed at the rear of the site with access via a laneway and they will have no detriment to the existing character of the area. The proposal complies with relevant Municipal Planning Strategy and the Planning Policy Framework as addressed below.

5.2 Neighbourhood Character Objectives

A schedule to this zone may contain neighbourhood character objectives to be achieved for the area.

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Response:

There are no neighbourhood character objectives specified in the schedule to the zone.

5.3 Subdivision

Under **Clause 32.08-3** of the Planning Scheme, a Planning Permit is required to subdivide land included within the General Residential Zone.

An application to subdivide land.

An application to subdivide land that would create a vacant lot less than 400 square metres capable of development for a dwelling or residential building, must ensure that each vacant lot created less than 400 square metres contains at least 25 percent as garden area. This does not apply to a lot created by an application to subdivide land where that lot is created in accordance with:

- An approved precinct structure plan or an equivalent strategic plan;
- An incorporated plan or approved development plan; or
- A permit for development.

An application to subdivide land into lots each containing an existing dwelling or car parking space, must meet the requirements of **Clause 56** and:

- Must meet all of the objectives included in the clauses specified in the following table.
- Should meet all of the standards included in the clauses specified in the following table.

Class of subdivision	Objectives and standards to be met
60 or more lots	All except clause 56.03-5.
16 – 59 lots	All except clauses 56.03-1 to 56.03-3, 56.03-5, 56.06-1 and 56.06-3.
3 – 15 lots	All except clauses 56.02-1, 56.03-1 to 56.03-4, 56.03-5 (unless the land is in the Neighbourhood Character Overlay), 56.05-2, 56.06-1, 56.06-3 and 56.06-6.
2 lots	Clauses 56.03-5 (only if the land is in the Neighbourhood Character Overlay), 56.04-2, 56.04-5, 56.06-8 and 56.07-4.

Response:

A full assessment of the application against Clause 56 is located at Section 7.5 of this report.

5.3 Minimum Garden Area Requirement

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

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Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

This does not apply to:

- An application to construct or extend a dwelling or residential building if specified in a schedule to this zone as exempt from the minimum garden area requirement;
- An application to construct or extend a dwelling or residential building on a lot if:
 - The lot is designated as a medium density housing site in an approved precinct structure plan or an approved equivalent strategic plan;
 - The lot is designated as a medium density housing site in an incorporated plan or approved development plan; or
- An application to alter or extend an existing building that did not comply with the minimum garden area requirement of Clause 32.08-4 on the approval date of Amendment VC110.

Response:

The site has a total land area of 995m² and at least 35% (or 348m²) of the site is to be set aside for the required garden area. The proposal is to set aside 489m² (or 49%) of garden area. Lots 1 and 2 comply with the 25% garden area requirements.

5.4 Construction and extension to two or more dwellings on a lot, dwellings on common property and residential building

Under **Clause 32.08-7** of the Planning Scheme, a Planning Permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.

A permit is required to construct or extend a front fence within 3 metres of a street if:

- The fence is associated with 2 or more dwellings on a lot or a residential building, and
- The fence exceeds the maximum height specified in Clause 55.06-2.

A development must meet the requirements of Clause 55. This does not apply to a development of five or more storeys, excluding a basement.

An apartment development of four or more storeys, excluding a basement, must meet the requirements of Clause 57.

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An apartment development of five or more storeys, excluding a basement, must meet the requirements of Clause 58.

Response:

Refer to Section 7.4 of the report for a Clause 55 assessment.

5.5 Decision Guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

Decision Guidelines	Comment
<p>General:</p> <ul style="list-style-type: none"> ▪ The Municipal Planning Strategy and the Planning Policy Framework. ▪ The purpose of this zone. ▪ The objectives set out in a schedule to this zone. ▪ Any other decision guidelines specified in a schedule to this zone. ▪ The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Housing Choice and Transport Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone. 	<ul style="list-style-type: none"> ➤ The proposal complies with the MPS and PPF. ➤ The proposal complies with the GRZ1. ➤ The proposal complies with the Schedule. ➤ Not applicable. ➤ There are no solar panels on adjoining properties.
<p>Subdivision:</p> <ul style="list-style-type: none"> ▪ The pattern of subdivision and its effect on the spacing of buildings. ▪ For subdivision of land for residential development, the objectives and standards of Clause 56. 	<ul style="list-style-type: none"> ➤ The proposed lots are large enough to provide space for the existing and proposed dwellings. ➤ The proposed subdivision complies with Clause 56.
<p>Dwellings, small second dwellings and residential buildings:</p> <ul style="list-style-type: none"> ▪ For the construction and extension of one dwelling on a lot and a small second dwelling, the applicable objectives, standards and decision guidelines of Clause 54. ▪ For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings of three storeys or less, excluding a basement, the objectives, standards and decision guidelines of Clause 55. ▪ For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings of four storeys, excluding a basement, the objectives, standards and decision guidelines of Clause 57. ▪ For the construction and extension of an apartment development of five or more storeys, excluding a basement, the objectives, standards and decisions guidelines of Clause 58. 	<ul style="list-style-type: none"> ➤ Not applicable. ➤ The proposal complies with Clause 55. ➤ Not applicable. ➤ Not applicable.

<p>Non-residential use and development:</p> <ul style="list-style-type: none"> ▪ Whether the use or development is compatible with residential use. ▪ Whether the use generally serves local community needs. ▪ The scale and intensity of the use and development. ▪ The design, height, setback and appearance of the proposed buildings and works. ▪ The proposed landscaping. ▪ The provision of car and bicycle parking and associated accessways. ▪ Any proposed loading and refuse collection facilities. ▪ The safety, efficiency and amenity effects of traffic to be generated by the proposal. 	<p>➤ Not applicable.</p>
--	--------------------------

6. Overlays

There are no Overlays affecting the site.

7. Particular Provisions

7.1 Public Open Space Contribution and Subdivision

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Under the provisions of **Clause 53.01**, a person who proposes to subdivide land must make a contribution to the council for public open space in an amount specified in the schedule to this clause (being a percentage of the land intended to be used for residential, industrial or commercial purposes, or a percentage of the site value of such land, or a combination of both). If no amount is specified, a contribution for public open space may still be required under Section 18 of the *Subdivision Act 1988*.

Response:

A 5% public open space contribution is required for a three (3) lot subdivision.

7.2 Native Vegetation

Clause 52.17 of the Planning Scheme refers to Native Vegetation requirements and the purpose of the Clause is:

- To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):
 - Avoid the removal, destruction or lopping of native vegetation.
 - Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
 - Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.
- To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

Clause 52.17-1 Permit Requirement states that a permit is required to remove, destroy or lop native vegetation, including dead native vegetation. This does not apply:

- If the table to **Clause 52.17-7** specifically states that a permit is not required.
- If a native vegetation precinct plan corresponding to the land is incorporated into this scheme and listed in the schedule to **Clause 52.16**.
- To the removal, destruction or lopping of native vegetation specified in the schedule to this clause.

Response:

No native vegetation is to be removed as part of the application.

7.3 Car Parking

The table contained in **Clause 52.06-5** of the Planning Scheme states that car parking associated a dwelling in a Category 1 (Minimum Requirement) is:

- 1.2 car spaces to each dwelling.

Response:

The proposed development comprises 3 dwellings. This equates to 3.6 car spaces to be provided on site. There are 5 car spaces to be provided, 1 space for the existing dwelling and 2 spaces for each proposed dwelling.

7.4 Two or more Dwellings on a Lot and Residential Buildings

Clause 55 of the Planning Scheme sets out various objectives and standards which Planning Permit applications for multi-dwelling residential development must meet.

Clause	Comment
Neighbourhood Character	
<p>55.02-1 – Street setback objectives (Standard B2-1)</p> <p>Objective: To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p> <p>Standard B2-1:</p> <p>Walls of buildings are set back from streets:</p> <ul style="list-style-type: none"> ▪ At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or ▪ If no distance is specified in a schedule to the zone, the distance specified in Table B2-1. 	<p>Deemed to Comply – Yes. The proposed front setback of each proposed dwelling complies. The existing dwelling's front setback will not change.</p>

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<p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	
<p>55.02-2 – Building Height objective (Standard B2-2)</p> <p>Objective: To ensure that the height of buildings respond to the existing or preferred neighbourhood character.</p> <p>Standard B2-2:</p> <p>The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.</p>	<p>Deemed to Comply – Yes. The existing dwelling will not change its current height. The proposed dwellings are single storey and have an overall height of 4.6 metres.</p>
<p>55.02-3 – Side and Rear Setbacks objective (Standard B2-3)</p> <p>Objective: To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</p> <p>Standard B2-3:</p> <p>A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2.</p> <p>Standard B2-3 is met if the building is set back in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions:</p> <ul style="list-style-type: none"> ▪ B2-3.1: The building is set back at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. ▪ B2-3.2: If the boundary is not to the south of the building, the building is set back at least 3 metres up to a height not exceeding 11 metres and at least 4.5 metres for a height over 11 metres. If the boundary is to the south of the building, the building is set back at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. <p>Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or</p>	<p>Deemed to Comply – Yes. The existing dwelling's side and rear setbacks comply. The proposed dwellings side and rear setback also comply.</p>

<p>cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.</p> <p>Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.</p>	
<p>55.02-4 – Walls on Boundaries objective (Standard B2-4)</p> <p>Objective: To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.</p> <p>Standard B2-4: A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <ul style="list-style-type: none"> ▫ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or ▫ The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Deemed to Comply – Yes. The only wall on the boundary is the garage wall to the garage for Dwelling 2. This complies with the standard. The wall length is 6.4 metres which is less than the 10 metres allowance.</p>
<p>55.02-5 – Site Coverage objective (Standard B2-5)</p> <p>Objective: To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.</p> <p>Standard B2-5:</p> <p>The site area covered by buildings does not exceed:</p> <ul style="list-style-type: none"> ▪ The maximum site coverage specified in a schedule to the zone; or 	<p>Deemed to Comply – Yes. Site coverage is 43%. Maximum in the GRZ is 65%.</p>

<ul style="list-style-type: none"> ▪ If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5. <p>If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.</p>	
<p>55.02-6 – Access objective (Standard B2-6)</p> <p>To ensure the number and design of vehicle crossovers responds to the neighbourhood character.</p> <p>Standard B2-6:</p> <p>The width of accessways or car spaces (other than to a rear lane) does not exceed:</p> <ul style="list-style-type: none"> ▪ 33 per cent of the street frontage; or ▪ 40 per cent of the street frontage if the width of the street frontage is less than 20 metres. <p>The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.</p> <p>The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.</p>	<p>Deemed to Comply – Yes. The proposed accessways for the proposed dwellings access onto a rear lane. The existing dwelling will comply.</p>
<p>55.03-7 – Tree Canopy objectives (Standard B2-7)</p> <p>Objectives:</p> <p>To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.</p> <p>To preserve existing canopy cover and support the provision of new canopy cover.</p> <p>To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.</p> <p>Standard B2-7:</p> <p>Provide a minimum canopy cover as specified in Table B2-7.1.</p>	<p>Deemed to Comply – Yes. Refer to the attached landscape plan.</p>

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Table B2-71 Canopy cover	
Site area	Canopy cover
1000 square metres or less	10% of site area
More than 1000 square metres	20% of site area

Existing trees to be retained meet all of the following:

- Has a height of at least 5 metres,
- Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,
- Has a trunk that is located at least 4 metres from proposed buildings.

The minimum canopy cover is met using any combination of trees specified in Table B2-7.2.

Existing trees that are retained can be used in calculating canopy cover.

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	Tree in deep soil Area of deep soil	Tree in planter Volume of planter	Minimum depth of planter soil
A	4 metres	6 metres	12.6 sqm	12 square metres (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension 2.5 metres)	0.8 metre
B	8 metres	8 metres	50.3 sqm	49 square metres (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension 4.5 metres)	1 metre
C	12 metres	12 metres	153 sqm	121 square metres (min. plan dimension 6.5 metres)	64 cubic metres (min. plan dimension 6.5 metres)	1.5 metre

55.02-8 – Front Fence objective
(Standard B8)

Objective: To encourage front fence design that responds to the existing or preferred neighbourhood character.

Standard B2-8:

- A front fence within 3 metres of a street is:
- The maximum height specified in a schedule to the zone, or
- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8.

Deemed to Comply – Yes. New front fencing will be provided along each frontage of each lot. The fence height is proposed to be 1.2 metres.

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Table B2-8 Maximum front fence height		
Street context	Maximum front fence height	
Streets in a Transport Zone 2	2 metres	
Other streets	1.5 metres	

Liveability		
<p>55.03-1 – Dwelling Diversity objective (Standard B3-1)</p> <p>Objective: To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p> <p>Standard B3-1:</p> <p>Developments include at least:</p> <ul style="list-style-type: none"> One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings. One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings. One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings. 		<p>Not applicable – The proposed development for two additional dwellings on the site.</p>
<p>55.03-2 – Parking Location objective (Standard B3-2)</p> <p>Objective: To minimise the impact of vehicular noise within developments on residents.</p> <p>Standard B3-2:</p> <p>Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:</p> <ul style="list-style-type: none"> 1.5 metres; or If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or 1 metre where window sills are at least 1.5 metres above ground level. <p>This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.</p>		<p>Complies – Yes. There is no habitable room window within 3 metres of the car parks.</p>
<p>55.03-3 – Street Integration objective (Standard B3-3)</p>		

<p>Objective: To integrate the layout of development with the street to support the safety and amenity of residents.</p> <p>Standard B3-3:</p> <p>Where a development fronts a street, a vehicle accessway or abuts public open space:</p> <ul style="list-style-type: none"> ▪ Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space. ▪ The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency. <p>Lighting is provided to all external accessways and paths.</p> <p>Mailboxes are provided for each dwelling and can be communally located.</p>	<p>Complies – Yes. Bedroom 1 in each proposed dwelling has direct viewing access to the rear laneway. The existing dwelling has direct viewing access from the living room and bedroom 1.</p>
<p>55.03-4 – Entry objectives (Standard B3-4)</p> <p>Objectives: To provide each dwelling, apartment development or residential building with its own sense of identity. To provide entries with weather protection, safe design, natural light and ventilation.</p> <p>Standard B3-4:</p> <p>Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings:</p> <ul style="list-style-type: none"> ▪ Each dwelling and each residential building has a ground level entry door that: ▪ Has a direct line of sight from a street, accessway or shared walkway. ▪ Is not accessed through a garage. ▪ Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door. <p>Apartment development and residential building with a shared entry: An apartment development and each residential building has:</p> <ul style="list-style-type: none"> ▪ A ground level entry door, gate or walkway with a direct line of sight from a street, accessway or shared walkway. ▪ An external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door to the building. 	<p>Complies – Yes. The existing and proposed dwellings has their own direct line of sight to the laneway or High Street, and have an external covered area of at least 1.44m².</p>

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<ul style="list-style-type: none"> ▪ Shared corridors and common areas have at least one source of natural light and natural ventilation. ▪ 	
<p>55.03-5 – Private Open Space objective (Standard B3-5)</p> <p>Objective: To provide adequate private open space for the reasonable recreation and service needs of residents.</p> <p>Standard B3-5: A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone.</p> <p>If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of:</p> <ul style="list-style-type: none"> ▪ An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or ▪ A balcony with at least the area and dimensions specified in Table B3-5; or ▪ An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or ▪ An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width. <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone;</p> <ul style="list-style-type: none"> ▪ The area and dimensions specified in the schedule must be 25 square metres or less; and ▪ The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard. <p>If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.</p> <p>Where ground level private open space is provided an area for clothes drying is provided.</p>	<p>Complies – Yes. The existing dwelling has an area of 46m², proposed dwelling 1 has an area of 63m² and dwelling 2 has an area of 50m². A clothes line is provide within each SPOS.</p>

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Table B3-5 Private open space for a balcony			
Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension
North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres
South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres
Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres
	2 bedroom dwelling	8 square metres	2 metres
	3 bedroom dwelling	12 square metres	2.4 metres

55.03-6 – Solar Access to Open Space objective
(Standard B3-6)

Objective: To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B3-6:
The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

Complies – No. the SPOS area for dwelling 1 does not meet the distance as required by the standard.

55.03-7 – Functional Layout objective
(Standard B3-7)

Objective: To ensure dwellings provide functional areas that meet the needs of residents.

Standard B3-7:
Bedrooms:
Meet the minimum internal room dimensions specified in Table B3-7.1; and
Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.

Table B3-7.1 Bedroom dimensions		
Bedroom type	Minimum width	Minimum depth
Main bedroom	3 metres	3.4 metres
All other bedrooms	3 metres	3 metres

Living areas (excluding dining and kitchen areas):
Meet the minimum internal room dimensions specified in Table B3-7.2.

Complies – Yes. Bedroom sizes in each dwelling meets the minimum widths and depths.

Each bedroom meets the 0.8m² of wardrobe space.

Living areas comply with the minimum widths and areas.

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Table B3-72 Living area dimensions		
Dwelling type	Minimum width	Minimum area
Studio and 1 bedroom dwelling	3.3 metres	10 sqm
2 or more bedroom dwelling	3.6 metres	12 sqm

<p>55.03-8 – Room Depth objective (Standard B3-8)</p> <p>Objective: To allow adequate daylight into single aspect habitable rooms.</p> <p>Standard B3-8: The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> ▪ The room combines the living area, dining area and kitchen; and ▪ The kitchen is located furthest from the window; and ▪ The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and ▪ An overhang extends no more than 2m beyond the window of the single aspect habitable room. <p>In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.</p>	<p>Complies – Yes.</p>
<p>55.03-9 – Daylight to New Windows objective (Standard B3-9)</p> <p>Objective: To allow adequate daylight into new habitable room windows.</p> <p>Standard B3-9: Dwelling (other than a dwelling in or forming part of an apartment development) A window in an external wall of the building is provided to all habitable rooms.</p> <p>Habitable rooms in a dwelling have a window that faces:</p> <ul style="list-style-type: none"> ▪ An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or 	<p>Complies – Yes.</p>

<ul style="list-style-type: none"> ▪ A verandah provided it is open for at least one third of its perimeter; or ▪ A carport provided it has two or more open sides and is open for at least one third of its perimeter. <p>Dwelling in or forming part of an apartment development A window in an external wall of the building is provided to all habitable rooms.</p> <p>Where daylight to a bedroom is provided from a smaller secondary area within the bedroom, the secondary area is to have:</p> <ul style="list-style-type: none"> ▪ A minimum width of 1.2 metres. ▪ A maximum depth of 1.5 times the width, measured from the external surface of the window. ▪ A window clear to the sky. 	
<p>55.03-10 – Natural Ventilation objectives (Standard B3-10)</p> <p>Objectives: To encourage natural ventilation of dwellings. To allow occupants to effectively manage natural ventilation of dwellings.</p> <p>Standard B3-10: Dwelling (other than a dwelling in or forming part of an apartment development) Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"> ▪ A maximum breeze path through the dwelling of 18 metres. ▪ A minimum breeze path through the dwelling of 5 metres. ▪ Ventilation openings with approximately the same size. <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p> <p>Dwelling in or forming part of an apartment development At least 40 per cent of dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"> ▪ A maximum breeze path through the dwelling of 18 metres. ▪ A minimum breeze path through the dwelling of 5 metres. ▪ Ventilation openings with approximately the same size. <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>	<p>Complies – Yes.</p>
<p>55.03-11 – Storage objective (Standard B3-11)</p> <p>Objective: To provide adequate storage facilities for each dwelling.</p>	

<p>Standard B3-11: Dwelling (other than a dwelling in or forming part of an apartment development) Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.</p> <p>Dwelling in or forming part of an apartment development Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.</p> <table border="1" data-bbox="240 638 976 922"> <caption>Table B3-11 Storage</caption> <thead> <tr> <th>Dwelling type</th> <th>Total minimum storage volume</th> <th>Minimum storage volume within the dwelling</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>8 cubic metres</td> <td>5 cubic metres</td> </tr> <tr> <td>1 bedroom dwelling</td> <td>10 cubic metres</td> <td>6 cubic metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>14 cubic metres</td> <td>9 cubic metres</td> </tr> <tr> <td>3 or more bedroom dwelling</td> <td>18 cubic metres</td> <td>12 cubic metres</td> </tr> </tbody> </table>	Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling	Studio	8 cubic metres	5 cubic metres	1 bedroom dwelling	10 cubic metres	6 cubic metres	2 bedroom dwelling	14 cubic metres	9 cubic metres	3 or more bedroom dwelling	18 cubic metres	12 cubic metres	<p>Complies – Yes. Storage space for the existing dwelling is located on the rear porch area. Storage for the proposed dwellings is located within the garage.</p>
Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling														
Studio	8 cubic metres	5 cubic metres														
1 bedroom dwelling	10 cubic metres	6 cubic metres														
2 bedroom dwelling	14 cubic metres	9 cubic metres														
3 or more bedroom dwelling	18 cubic metres	12 cubic metres														
<p>55.03-12 – Accessibility for Apartment Development objective (Standard B3-12)</p> <p>Objective: To ensure the design of dwellings meets the needs of people with limited mobility.</p> <p>Standard B3-12: At least 50 per cent of dwellings in or forming part of an apartment development have:</p> <ul style="list-style-type: none"> ▪ A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom. ▪ A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area. ▪ A main bedroom with access to an adaptable bathroom. ▪ At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B3-12. 	<p>Not applicable.</p>															
<p>External Amenity</p>																
<p>55.04-1 – Daylight to Existing Windows objective (Standard B4-1)</p> <p>Objective: To allow adequate daylight into existing habitable room windows.</p> <p>Standard B4-1: Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square</p>	<p>Complies – Yes. There are no existing habitable windows opposite.</p>															

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<p>metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	
<p>55.04-2 – Existing North-Facing Windows Objective (Standard B4-2)</p> <p>Objective: To allow adequate solar access to existing north-facing habitable room windows.</p> <p>Standard B4-2: Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot:</p> <p>A new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</p> <p>For new buildings that meet the Standard B2-3.2 setback, the building is set back from the boundary by at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</p> <p>For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.</p>	<p>Complies – Yes. There are no north facing windows of a neighbouring dwelling within 3.0 metres.</p>
<p>55.04-3 – Overshadowing Secluded Private Open Space objective (Standard B4-3)</p> <p>Objective: To ensure buildings do not significantly overshadow existing secluded private open space.</p> <p>Standard B4-3: The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres</p>	<p>Complies – Yes. No SPOS is overshadowed by the new development.</p>

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<p>with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.</p>	
<p>55.04-4 – Overlooking objective (Standard B4-4)</p> <p>Objective: To limit views into existing secluded private open space and habitable room windows.</p> <p>Standard B4-4: In Clause 55.04-4 a habitable room does not include a bedroom.</p> <p>A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:</p> <ul style="list-style-type: none"> ▪ Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or ▪ Has sill heights of at least 1.7 metres above floor level; or ▪ Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or ▪ Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or ▪ Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view are:</p> <ul style="list-style-type: none"> ▪ Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. ▪ Permanent, fixed and durable. ▪ Designed and coloured to blend in with the development. 	<p>Complies – Yes. There is no overlooking into adjoining properties.</p>

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<p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	
<p>55.04-5 – Internal Views objective (Standard B4-5)</p> <p>Objective: To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p> <p>Standard B4-5: In Clause 55.04-5 a habitable room does not include a bedroom.</p> <p>Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:</p> <ul style="list-style-type: none"> ▪ Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or ▪ Has a sill height of at least 1.7 metres above floor level; or ▪ Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or ▪ Has permanently fixed external screens to at least 1.7 metres above floor level; or. ▪ Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. <p>Direct views are measured at a height of 1.7 metres above floor level and within:</p> <ul style="list-style-type: none"> ▪ A 45 degree horizontal angle from the edge of the new window or balcony. ▪ A 45 degree angle in the downward direction. <p>Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.</p>	<p>Complies – Yes. There are not internal views into SPOS areas.</p>
<p>Sustainability</p>	
<p>55.05-1 – Permeability and Stormwater Management objective (Standard B5-1)</p> <p>Objectives: To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways.</p> <p>To facilitate on-site stormwater infiltration.</p>	<p>Complies – Yes. At least 50% of the site is permeable.</p>

<p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>To contribute to urban cooling.</p> <p>Standard B5-1: The site area covered by the pervious surfaces is at least 20 percent of the site.</p> <p>The development includes a stormwater management system designed to:</p> <ul style="list-style-type: none"> ▪ Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of: <ul style="list-style-type: none"> ▪ Suspended solids 80% reduction in mean annual load. ▪ Total phosphorus and Total Nitrogen 45% reduction in mean annual load. ▪ Litter 70% reduction of mean annual load. <p>Note: A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.</p> <p>Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.</p>	
<p>55.05-2 – Overshadowing Domestic Solar Energy Systems objective (Standard B5-2)</p> <p>Objective: To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.</p> <p>Standard B5-2: Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.</p>	<p>Complies – Yes. There is no adjoining building that contains solar panels.</p>

<p>In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>									
<p>55.05-3 – Rooftop Solar Energy Generation Area objective (Standard B5-3)</p> <p>Objective: To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</p> <p>Standard B5-3: In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.</p> <p>An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <ul style="list-style-type: none"> Has a minimum dimension of 1.7 metres. Has a minimum area in accordance with Table B5-3. Is oriented to the north, west or east. Is positioned on the top two thirds of a pitched roof. Can be a contiguous area or multiple smaller areas. Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area. <p>Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.</p> <table border="1" data-bbox="252 1317 976 1877"> <caption>Table B5-3 Minimum rooftop solar energy generation area</caption> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum roof area</th> </tr> </thead> <tbody> <tr> <td>1 bedroom dwelling</td> <td>15 square metres</td> </tr> <tr> <td>2 or 3 bedroom dwelling</td> <td>26 square metres</td> </tr> <tr> <td>4 or more bedroom dwelling</td> <td>34 square metres</td> </tr> </tbody> </table>	Number of bedrooms	Minimum roof area	1 bedroom dwelling	15 square metres	2 or 3 bedroom dwelling	26 square metres	4 or more bedroom dwelling	34 square metres	<p>Complies – No. There are no solar panels proposed for the existing or proposed dwellings.</p>
Number of bedrooms	Minimum roof area								
1 bedroom dwelling	15 square metres								
2 or 3 bedroom dwelling	26 square metres								
4 or more bedroom dwelling	34 square metres								
<p>55.05-4 – Solar Protection to New North-Facing Windows objective (Standard B5-4)</p>									

<p>Objective: To encourage external shading of north facing windows to minimise summer heat gain.</p> <p>Standard B5-4: North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p>	<p>Complies – No. Proposed dwelling 1 has no protection on the north facing windows.</p>																
<p>55.05-5 – Waste and Recycling objectives (Standard B5-5)</p> <p>Objectives: To ensure dwellings are designed to facilitate waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.</p> <p>Standard B5-5: Dwelling (other than a dwelling in or forming part of an apartment development) The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.</p> <table border="1" data-bbox="245 1310 986 1624"> <caption>Table B5-5.1 Bin storage</caption> <thead> <tr> <th>Type of bin storage area</th> <th>Minimum area</th> <th>Minimum depth</th> <th>Minimum height</th> </tr> </thead> <tbody> <tr> <td>Individual bin storage area for a dwelling.</td> <td>1.8 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> <tr> <td>Shared bin storage area for 3 dwellings or less.</td> <td>5.4 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> <tr> <td>Shared bin storage area for 4 or more dwellings.</td> <td>1 square metre per dwelling plus 4 square metres</td> <td>0.8 metre</td> <td>1.8 metres</td> </tr> </tbody> </table> <p>If the development includes a shared bin storage area:</p> <ul style="list-style-type: none"> ▪ The shared bin storage area: <ul style="list-style-type: none"> ▪ Is located within 40 metres of a kerbside collection point. ▪ Includes a tap for bin washing. ▪ There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area. <p>Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction.</p>	Type of bin storage area	Minimum area	Minimum depth	Minimum height	Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres	Shared bin storage area for 3 dwellings or less.	5.4 square metres	0.8 metre	1.8 metres	Shared bin storage area for 4 or more dwellings.	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres	<p>Complies – Yes. Waste storage areas are provided for each dwelling.</p>
Type of bin storage area	Minimum area	Minimum depth	Minimum height														
Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres														
Shared bin storage area for 3 dwellings or less.	5.4 square metres	0.8 metre	1.8 metres														
Shared bin storage area for 4 or more dwellings.	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres														

Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

Dwelling in or forming part of an apartment development

The development includes a shared bin storage area for use by each dwelling of at least the applicable area, depth and height specified in Table B5-5.2.

Number of dwellings	Minimum area	Minimum depth	Minimum height
15 or less dwellings	0.7 square metres per dwelling in a shared waste storage area	0.8 metres	2.7 metres
16 to 55 dwellings	0.5 square metres per dwelling, plus 5 square metres in a shared waste storage area.	1 metre	2.7 metres
56 or more dwellings	0.5 square metres per dwelling in a shared waste storage area.	1 metre	2.7 metres

Enclosed bin storage areas are ventilated by:

- Natural ventilation openings to the external air with an area of at least 5 per cent of the area for bin storage area; or
- A mechanical exhaust ventilation system.

A tap and drain is provided to wash bins.

A continuous path of travel is provided from each dwelling to bin storage areas.

Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

55.065-6 – Design Detail objective
(Standard B5-6)

Objective: To minimise the impact of mechanical plant noise located in the development.

Standard B5-6:

Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.

Complies – Yes. Any plant equipment will be located away from habitable rooms.

55.05-7 – Energy Efficiency for Apartment Developments objectives
(Standard B5-7)

<p>Objectives: To achieve energy efficient dwellings and buildings.</p> <p>To ensure dwellings achieve adequate thermal efficiency.</p> <p>Standard B5-7: Dwellings in or forming part of an apartment development located in a climate zone identified in Table B5-7 do not exceed the maximum NatHERS annual cooling load.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 20px;"> <thead> <tr style="background-color: #d3d3d3;"> <th style="text-align: left;">NatHERS climate zone</th> <th style="text-align: center;">NatHERS maximum cooling load MJ/M² per annum</th> </tr> </thead> <tbody> <tr> <td>Climate zone 21 Melbourne</td> <td style="text-align: center;">30</td> </tr> <tr> <td>Climate zone 22 East Sale</td> <td style="text-align: center;">22</td> </tr> <tr> <td>Climate zone 27 Mildura</td> <td style="text-align: center;">69</td> </tr> <tr> <td>Climate zone 60 Tullamarine</td> <td style="text-align: center;">22</td> </tr> <tr> <td>Climate zone 62 Moorabbin</td> <td style="text-align: center;">21</td> </tr> <tr> <td>Climate zone 63 Warrnambool</td> <td style="text-align: center;">21</td> </tr> <tr> <td>Climate zone 64 Cape Otway</td> <td style="text-align: center;">19</td> </tr> <tr> <td>Climate zone 66 Ballarat</td> <td style="text-align: center;">23</td> </tr> </tbody> </table>	NatHERS climate zone	NatHERS maximum cooling load MJ/M ² per annum	Climate zone 21 Melbourne	30	Climate zone 22 East Sale	22	Climate zone 27 Mildura	69	Climate zone 60 Tullamarine	22	Climate zone 62 Moorabbin	21	Climate zone 63 Warrnambool	21	Climate zone 64 Cape Otway	19	Climate zone 66 Ballarat	23	<p>Not applicable</p>
NatHERS climate zone	NatHERS maximum cooling load MJ/M ² per annum																		
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7.5 Residential Subdivision

Clause 56 of the Planning Scheme sets out various objectives and standards which Planning Permit applications for residential subdivision must meet.

Clause	Comment
<p>56.04-1 – Lot Diversity and Distribution objectives (Standard C7)</p> <p>To achieve housing densities that support compact and walkable neighbourhoods and the efficient provision of public transport services.</p>	<p>Complies – The proposed lots provide a range and mix of sizes that are suitable for the existing and proposed dwellings.</p>

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<p>To provide higher housing densities within walking distance of activity centres.</p> <p>To achieve increased housing densities in designated growth areas.</p> <p>To provide a range of lot sizes to suit a variety of dwelling and household types.</p>	
<p>56.04-2 – Lot Area and Building Envelopes objective (Standard C8)</p> <p>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</p>	<p>Complies – Lots areas are approximately 270m², 290m² and 435m² which are suitably dimensioned to allow for the existing dwelling and the construction of the proposed dwellings.</p>
<p>56.04-3 – Solar Orientation of Lots objective (Standard C9)</p> <p>To provide good solar orientation of lots and solar access for future dwellings.</p>	<p>Complies – All lots are of sufficient size to have appropriate solar orientation.</p>
<p>56.04-5 – Common Area objectives (Standard C11)</p> <p>To identify common areas and the purpose for which the area is commonly held.</p> <p>To ensure the provision of common area is appropriate and that necessary management arrangements are in place.</p> <p>To maintain direct public access throughout the neighbourhood street network.</p>	<p>N/A – There are no common areas proposed as part this subdivision.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>This copied is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may breach any copyright.</p> </div>
<p>56.05-1 – Integrated Urban landscape objectives (Standard C12)</p> <p>To provide attractive and continuous landscaping in streets and public open spaces that contribute to the character and identity of new neighbourhoods and urban places or to existing or preferred neighbourhood character in existing urban areas.</p>	<p>Complies – There is currently street trees along High Street. There will no landscaping within the rear laneway as there is insufficient space available for street trees. The landscaping of the front yards of the proposed dwellings will provide an appropriate landscape character.</p>

<p>To incorporate natural and cultural features in the design of streets and public open space where appropriate.</p> <p>To protect and enhance native habitat and discourage the planting and spread of noxious weeds.</p> <p>To provide for integrated water management systems and contribute to drinking water conservation.</p>	<p>This copied is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may breach any copyright.</p>
<p>56.06-2 – Walking and Cycling Network objectives (Standard C15)</p> <p>To contribute to community health and well being by encouraging walking and cycling as part of the daily lives of residents, employees and visitors.</p> <p>To provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists.</p> <p>To reduce car use, greenhouse gas emissions and air pollution.</p>	<p>Complies – High Street provides safe and direct movement from the development to the main centre of Beaufort. Neill Street also provides access to High Street.</p>
<p>56.06-8 – Lot Access objective (Standard C21)</p> <p>To provide for safe vehicle access between roads and lots.</p>	<p>Complies – Direct vehicle access will be via a separate driveway for the existing lot from High Street and a new driveway from the rear laneway for Lots 1 and 2.</p>
<p>56.07-1 – Drinking Water Supply objectives (Standard C22)</p> <p>To reduce the use of drinking water.</p> <p>To provide an adequate, cost-effective supply of drinking water.</p>	<p>Complies – Water supply will be provided to the requirements of Central Highlands Water Authority.</p>
<p>56.07-2 – Reused and Recycled Water objective (Standard C23)</p> <p>To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.</p>	<p>N/A – The use of recycled water is not proposed as part of this development.</p>

<p>56.07-3 – Waste Water Management objective (Standard C24)</p> <p>To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.</p>	<p>Complies – The site will be connected to a reticulated waste water system to the requirements of Central Highlands Water Authority.</p>
<p>56.07-4 – Stormwater Management objectives (Standard C25)</p> <p>To minimise damage to properties and inconvenience to residents from stormwater.</p> <p>To ensure that the street operates adequately during major storm events and provides for public safety.</p> <p>To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.</p>	<p>Complies – Site drainage will be consistent with current best practice design principles. Any future dwelling will have installed rainwater tanks in line with current Building Regulations to further reduce stormwater runoff from the sites.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>This copied is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may breach any copyright.</p> </div>
<p>56.08-1 – Site Management objectives (Standard C26)</p> <p>To protect drainage infrastructure and receiving waters from sedimentation and contamination.</p> <p>To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.</p> <p>To encourage the reuse of materials from the site and recycled materials in the construction of subdivisions where practicable.</p>	<p>Complies – A detailed site management plan will be not available until such time as the civil works are put out to tender and the successful tenderer provides full details of site management and containment plans. Such information will be provided to Council when available prior to the commencement of construction works.</p>
<p>56.09-1 – Shared Trenching objectives (Standard C27)</p>	

<p>To maximise the opportunities for shared trenching.</p> <p>To minimise constraints on landscaping within street reserves.</p>	<p>Complies – Trenching will be shared where possible.</p>
<p>56.09-2 – Electricity, Telecommunications and Gas objectives (Standard C28)</p> <p>To provide public utilities to each lot in a timely, efficient and cost effective manner.</p> <p>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</p>	<p>Complies – The lots will be connected to electricity, telecommunications and gas in accordance with the relevant requirements of the supply/servicing agency.</p>
<p>56.09-3 – Fire Hydrants objective (Standard C29)</p> <p>To provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently.</p>	<p>Complies – There is a fire hydrant within 120 metres of the site. It is located on the corner of High Street and Neill Street.</p>
<p>56-09-4 – Public Lighting objectives (Standard C30)</p> <p>To provide public lighting to ensure the safety of pedestrians, cyclists and vehicles.</p> <p>To provide pedestrians with a sense of personal safety at night.</p> <p>To contribute to reducing greenhouse gas emissions and to saving energy.</p>	<p>Complies – Street lighting is available in both High Street and Neill Street.</p>

7.6 Land Adjacent to the Principal Road Zone

Under the provisions of **Clause 52.29**, the purpose of the Principal Road Zone is:

- To ensure appropriate access to the Principal Road Network or land planned to form part of the Principal Road Network.
- To ensure appropriate subdivision of land adjacent to Principal Road Network or land planned to form part of the Principal Road Network.

Clause 52.29-2 refers to Permit Requirement and a permit is required to:

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- create or alter access to a road in a Road Zone, Category 1 or land in a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.
- subdivide land adjacent to a road in a Road Zone, Category 1 or land in a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.

Response:

There is currently no access to the site from High Street. The proposed new access point for the existing dwelling will require approval from the Department of Transport.

7.7 Stormwater Management in Urban Development

Clause 53.18 of the Planning Scheme refers to that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Clause 53.18-5 Stormwater management objective for buildings and works aims:

- To encourage stormwater management that maximises the retention and reuse of stormwater.
- To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.
- To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.
- To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.

Response:

Treatment of stormwater will be through designated water tanks.

8. General Provisions

8.1 Decision Guidelines

Under the provisions of **Clause 65.01**, before deciding on an application or approval of a plan, the responsible authority must also consider, as appropriate:

Clause 65.01- Application or approval of a plan	Comments
The matters set out in section 60 of the Act.	The proposal meets the matters set out in Section 60 of the Act.
Any significant effects the environment, including the contamination of land, may have on the use or development.	There will be no significant effects to the environment.
The Municipal Planning Strategy and the Planning Policy Framework.	The proposed development complies with the MPS and the PPF.
The purpose of the zone, overlay or other provision	The development and subdivision complies with the General Residential Zone.
Any matter required to be considered in the zone, overlay or other provision	Not applicable.

The orderly planning of the area	This proposal represents an orderly, sensible and practical response to land that is situated within a residential context.
The effect on the environment, human health and amenity of the area.	There will be no measurable effect or impacts on the environment, human health and the amenity of the area. Appropriate offsets distances exist between the proposed dwellings and adjoining residential properties. No adverse overshadowing effects or overlooking of private open space has occurred through this layout and design of the proposed dwellings.
The proximity of the land to any public land	The land is not in close proximity to any public land.
Factors likely to cause or contribute to land degradation, salinity or reduce water quality	Not applicable.
Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site	Any storm or surface water runoff will be discharged to the current legal point of discharge. The proposal will not increase stormwater runoff.
The extent and character of native vegetation and the likelihood of its destruction	Not applicable.
Whether native vegetation is to be or can be protected, planted or allowed to regenerate	Not applicable
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard	Not applicable.
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.	Vehicles can enter and leave in safe and efficient manner for the existing and proposed dwellings.
The impact the use or development will have on the current and future development and operation of the transport system.	There will be no impact from the use and development on the current and future development and operation of the transport system.

Under the provisions of **Clause 65.02**, before deciding on an application to subdivide land, the responsible authority must also consider, as appropriate:

Clause 65.02 – Application to subdivide land	Comments
The suitability of the land for subdivision	The land is suitable for subdivision. Moreover, the subdivision finds support in the Planning Policy Framework and is consistent with the purpose of the General Residential Zone.
The existing use and possible future development of the land and nearby land	This is a residential subdivision in a residential area. The resulting lots will be developed for the proposed single dwellings. Nearby and adjacent land is also zoned residential and will remain for residential use and development.
The availability of subdivided land in the locality, and the need for the creation of further lots	This subdivision presents itself as a residential infill and urban consolidation opportunity.

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The effect of development on the use or development of other land which has a common means of drainage	The subdivision will not adversely affect the drainage regime that is associated with adjoining land or other land in the vicinity of the subject site.
The subdivision pattern having regard to the physical characteristics of the land including existing vegetation	Having regard to the physical characteristics of the subject land and its surrounding context, it is submitted that the pattern and rhythm of the subdivision is appropriate for the subject land. The subdivision will facilitate development that is in keeping with the existing and preferred neighbourhood character.
The density of the proposed development	The subdivision intends to create three (3) lots which are similar in size with other lots in the immediate area.
The area and dimensions of each lot in the subdivision	The proposed subdivision will create three (3) new residential lots all capable of containing proposed dwellings on Lots 1 & 2.
The layout of roads having regard to their function and relationship to existing roads	A new crossover will be required for Lots 1 & 2.
The movement of pedestrians and vehicles throughout the subdivision and the ease of access to all lots	Pedestrian movements will be via the existing grassed naturestrips on all the adjoining roads.
The provision and location of reserves for public open space and other community facilities	Not applicable.
The staging of the subdivision	Not applicable.
The design and siting of buildings having regard to safety and the risk of spread of fire	The proposed lot sizes will allow appropriate separation between buildings, therefore reducing the risk of the spread of fire.
The provision of off-street parking	Sufficient land is available on each of the proposed lots to accommodate off-street car parking in association with the existing and proposed dwellings.
The provision and location of common property	Not applicable.
The functions of any body corporate	Not applicable.
The availability and provision of utility services, including water, sewerage, drainage, electricity and gas	The proposed subdivision can be serviced by the following utility services, which are all available to it: <ul style="list-style-type: none"> ▪ Water; ▪ Sewerage; ▪ Drainage; ▪ Electricity; and ▪ Telecommunications.
If the land is not sewered and no provision has been made for the land to be sewered, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.	Not applicable.
Whether, in relation to subdivision plans, native vegetation can be protected through subdivision and siting of open space areas	Not applicable.
The impact the development will have on the current and future development and operation of the transport system.	There will be no impact from the use and development on the current and future development and operation of the transport system.

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9. Policy Context

It is considered the proposal is consistent with the relevant Municipal Planning Strategy and the Planning Policy Framework as outlined below:

9.1 Municipal Planning Strategy

Clause 02.03-1 – Settlement – aims to:

- Maintain viable communities at times of static or low population growth.
- Direct development to areas within township boundaries.
- Develop consolidated townships and settlements to provide improved access to services and community facilities.
- Enhance Beaufort and Avoca as the municipality's major towns through the provision of a wide range of services and facilities, and a diversity of housing types and lifestyle opportunities.

Beaufort's role as the Shire's principal town for urban development should be supported by:

- Retaining Beaufort's character and sense of place.

Response:

The proposed development is within the main urban area of Beaufort.

Clause 02.03-5 – Housing - aims to:

- Encourage a diverse range of housing to attract and maintain a socially diverse population base.
- Encourage medium-density housing in central locations in established townships, with good accessibility to transport, shops, infrastructure and community facilities.

Response:

The additional dwellings will provide for a diverse range of housing and population. The site is close to a number of services including shopping, community and physical infrastructure.

9.2 Planning Policy Framework

Clause 12.01 – Biodiversity – Contains policies relating to the protection of habitat and native vegetation management.

Response:

No native vegetation is to be removed from the site.

Clause 15.01-1 – Urban Design – aims:

- To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

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The strategies that are relevant to this application are:

- Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.
- Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.
- Ensure the interface between the private and public realm protects and enhances personal safety.

Response:

The proposal responds to the context of character with the new dwellings being single storey, constructed from similar materials as other dwellings in the immediate area and is in a well-established residential area of Beaufort.

Clause 15.01-2 – Building Design – aims:

- To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

The strategies that are relevant to this application is:

- Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.

Response:

The proposed dwellings are single storey which is existing character of the area.

Clause 15.01-3 – Subdivision Design – aims:

- To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

Response:

The proposed lots are attractive, safe, accessible and provide for a diverse range of lot sizes within a sustainable neighbourhood.

Clause 16.01-1L – Location of residential development in Pyrenees Shire – aims:

- Direct residential development to areas within townships that have the potential to accommodate infill development and where water and sewerage services are provided.

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Response:

The proposal will add to the range of available housing and will assist to meet demand in this area. The site is located within an established residential area and the development will help to consolidate the urban area without consuming additional land for residential purposes. The design is appropriate to the existing character of the area. Physical and community infrastructure are located close to this site, with a supermarket, schools, public open space and recreational facilities and bus stop in close proximity.

Clause 19.03-3S – Integrated Water Management – This policy aims to plan for the provision of water supply, sewerage and drainage services that efficiently and effectively meet State and community needs and protect the environment.

Response:

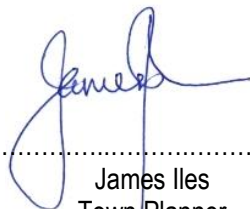
All services are to be provided to each dwelling including reticulated water, sewer, drainage and electricity.

10. Conclusion

In summary, it is respectfully submitted that this proposed development and subdivision is consistent with the objectives and strategies of both the Municipal Planning Strategy and the Planning Policy Framework of the Pyrenees Planning Scheme. In conclusion, it is considered that the proposed development and subdivision is appropriate to the site and its surrounds given the following:

- The proposal is consistent with the purpose of the General Residential Zone.
- The proposal responds positively to the decision guidelines of Clause 65.01 and 65.02.
- The proposal will result in a more efficient use of the existing infrastructure and will help to reduce the pressure for urban development to spread outside the city.
- The resulting lot sizes and configuration are such that they are respectful of and not at odds with the existing residential subdivision pattern of the area.
- This proposed residential subdivision is respectful of the established character of the neighbourhood and is responsive to energy efficiency and principles for sustainable development.
- The proposal is considered to be an appropriate infill development.

For all of the reasons outlined above, which have been expanded upon throughout this report, it is respectfully requested that the Pyrenees Shire Council support the application and issue a planning permit to allow for the development of two additional dwellings, a three lot subdivision and access to a Transport Road Zone located at 4 Neill Street, Beaufort.



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James Iles
Town Planner

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11. Photos of the site and surrounds

	<p>Existing dwelling at 4 Neill Street.</p>
	<p>Rear access to the site from High Street.</p>
	<p>Dwelling at 2 Neill Street.</p>



Dwelling at 6 Neill Street.



Dwellings at 1/8 & 3/8 Neill Street.



Dwelling at 23 High Street.



Dwellings at 19 & 21 High Street.



Dwelling at 1-3 Neill Street.



Looking east along Neill Street.



Looking west along Neill Street.



Existing access to the laneway at the rear from High Street.



Looking northwest along High Street.



Looking southeast along High Street.



Existing gravel service road along the front of the properties in Neill Street.

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